



AGENDA
HISTORIC REVIEW BOARD MEETING
JANUARY 28, 2026 AT 6:00 PM
116 FIRST STREET
NEPTUNE BEACH, FL 32266

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Swearing In of Board Members
5. Chair Appointment
6. **HS26-01:** Application for Determination of Historical Significance as outlined in Chapter 2 Section 497 of the General Code of Neptune Beach for Kathleen Mills for the property currently known as 228 Florida Blvd (RE# 173169-0000).
7. **COA26-01:** Application for Certificate of Appropriateness as outlined in Chapter 2 Section 497 of the General Code of Neptune Beach for Kathleen Mills for a building addition to the property currently known as 228 Florida Blvd (RE# 173169-0000).
8. Open Discussion
9. Adjourn

CITY OF NEPTUNE BEACH – HISTORIC REVIEW BOARD



STAFF REPORT

MEETING DATE: January 28, 2026
BOARD/COMMITTEE: Historic Review Board
APPLICATION NUMBER: HS26-01

TO: Historic Review Board

FROM: Heather Whitmore, AICP, PTP Community Development Director

DATE: January 25, 2026

SUBJECT: Determination of Historical Significance: 228 Florida Blvd (RE# 173169-0000)

I. BACKGROUND:

Application for Determination of Historical Significance as outlined in Chapter 2 Section 497 of the General Code of Neptune Beach for Kathleen Mills for the property currently known as 228 Florida Blvd (RE# 173169-0000). The property is in the R-4/RC Overlay zoning district.

II. DISCUSSION:

The applicant requests a Determination of Historical Significance for the subject property. The home is located on the northern side of the 200 block of Florida.

The 4,366 square foot lot contains a two story duplex built in 1937. The existing interior square footage is approximately 1,503 square feet. The existing house is setback approximately (66) feet from the front property line along Florida, (2.5) feet on the eastern side property line, (2.3) feet on the western side property line and (7.5) feet on the northern rear property line. The existing lot coverage is 21.8% and the Floor Area Ratio is 34%.

The R-4/RC Overlay Building and Lot Requirements are outline in LDC Table 27-239 as attached, and are as follows:

	R-4/RC Overlay	228 Florida Blvd (Existing)
Front Yard Setback	10 feet	66 feet
Rear Yard Setback	15 feet	7.5 feet
Side Yard (Internal)	7 feet	(2.5) feet eastern side (2.3) feet western side
Side Yard (Street)	8 feet	NA
Lot Coverage (Max)	50%	21.8%
Floor Area Ratio (Max)	65%	34%

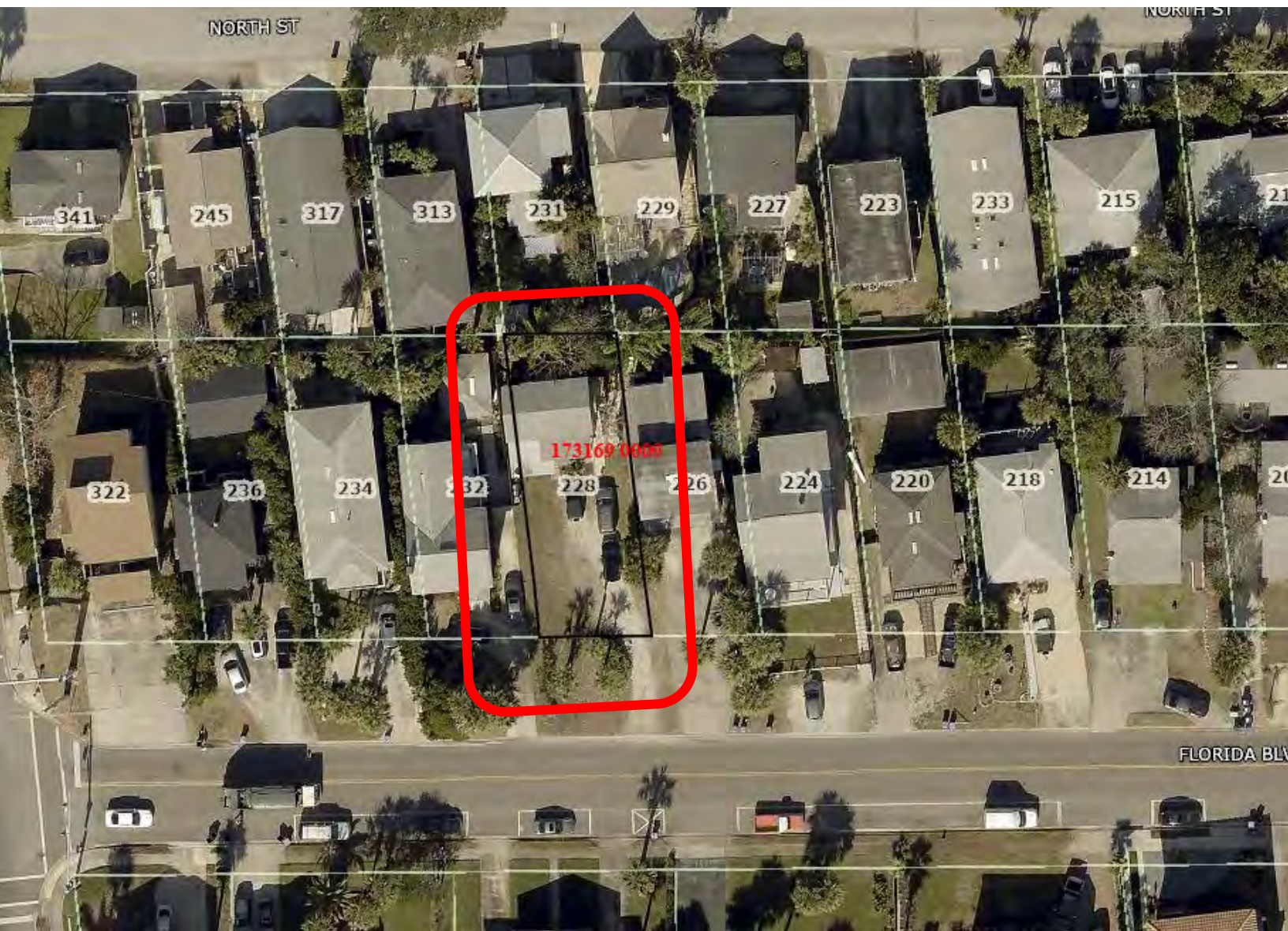


Figure 1: 228 Florida Blvd aerial view

HS26-01: 228 Florida Boulevard

January 28, 2026 Historic Review Board Staff Report



Figure 2: 228 Florida Blvd frontage view

III. FINDINGS:

The Historical Review Board may make a Determination of Historical Significance for properties that are at least fifty (50) years old and retain the physical characteristics for the time the structure was built. The fifty (50) year old requirement may be waived if the property is determined to be a Florida Heritage Site as determined by the Florida Department of State's Historical Division of Historical Resources. In addition, the Historical Review Board shall find at least one of the following criteria for the historical designation:

- 1. Have the Florida Heritage Landmark status as determined by the Florida Department of State's Historical Division of Historical Resources by being on the Division's Florida Register of Heritage Landmarks;**
 - a. Applicant Response: No**

- 2. Be listed on the National Register of Historic Places by the United States Department of the Interior's Nation Parks Service, Office of Cultural Resources;**
 - a. Applicant Response: No**

- 3. Have an association with a significant historical event that made a significant contribution to the broad patterns of our history;**
 - a. Applicant Response: No**

- 4. Have regional significance in areas like architecture, having retained those physical characteristics that were present during the period which the structure was built and that are unique to the City of Neptune Beach. Examples include but are not limited to the two-story homes located along First Street with sleeping porches or the mid-century modern homes west of Third Street that were constructed in a manner to capture ocean breezes;**
 - a. Applicant Response: Yes, home was constructed in 1937 and retains architecture and physical characteristics of the time period of construction.**

- 5. Have an association with the lives of people significant in our past. A non-exhaustive list of examples of significant people in our past includes those that contributed to an important historical event, or who were noted artists, actors, authors, performers, musicians, soldiers, professional athletes, politicians, scholars, religious figures, social activists or newsworthy persons;**
 - a. Applicant Response: Property has been with current family/owners since 1974**

6. **Embody distinctive characteristics of a type, period, or method of construction or design and represent the work of a master or notable or renowned architect or builder, or possessing high artistic values; or**
 - a. **Applicant Response:** The subject property represents the 2-story carriage style construction of Neptune Beach in the 1930s.

7. **Have the potential to yield information important in prehistory or history.**
 - a. **Applicant Response:** Unknown, but potentially yes for retaining 89 year old structure demonstrating architecture consistent with time period of construction.

IV. EXHIBITS:

- a. **Application For Determination Of Historical Significance**
- b. **228 Florida Blvd Survey**
- c. **228 Florida Blvd Deed**
- d. **228 Florida Blvd Photos**
- e. **Neptune Beach Table 27-239 Building and Lot Requirements by Zoning**
- f. **228 Florida Blvd Existing/ Proposed Site Plan**
- g. **228 Florida Blvd Existing/ Proposed Floor Plan**
- h. **228 Florida Blvd Existing/ Proposed Elevations Plan Set**

APPLICATION FOR DETERMINATION OF HISTORICAL SIGNIFICANCE



THE CITY OF NEPTUNE BEACH COMMUNITY DEVELOPMENT DEPARTMENT
 116 FIRST STREET
 NEPTUNE BEACH, FLORIDA 32266-6140
 PH: 270-2400 Email: Bldgclerk@NBFL.US

IMPORTANT NOTE: THE HISTORICAL REVIEW BOARD, IN CONSIDERING YOUR PETITION, IS ACTING IN A QUASI-JUDICIAL CAPACITY AND ANY DISCUSSION WITH MEMBERS, OTHER THAN AT A PUBLIC MEETING IS PROHIBITED AND ANY SUCH CONTACT MAY VOID YOUR PETITION.

Date Filed: 1/9/26		Zoning District: R-4	Real Estate Parcel Number: 173169-0000
Name & Address of Owner of Record: <u>Kathleen Mills</u> 226 Florida Blvd, Nep Bch, FL 32266 Contact phone number# <u>904-422-2077</u> e-mail address <u>johnandbetsybirdsong@gmail.com</u>		Property Address: 228 Florida Blvd, Nep Bch, FL 32266 Number of units on property <u>2</u> Have any previous applications for variance been filed concerning this property? <u>No</u> If Yes, Give Date: _____	
<p>Section 2-494 defines Determination of Historic Significance as follows: <i>Determination of Historic Significance is a finding that a structure is at least fifty (50) years old and retains the physical characteristics for the time the structure was built and otherwise meets the requirements found in Section 2-499.</i></p> <p>The Historical Review Board may make a Determination of Historical Significance for properties that are at least fifty (50) years old and retain the physical characteristics for the time the structure was built. The fifty (50) year old requirement may be waived if the property is determined to be a Florida Heritage Site as determined by the Florida Department of State's Historical Division of Historical Resources. In addition, the Historical Review Board shall find at least one of the following criteria for the historical designation, please respond to 1-7 criteria listed below to provide a description of the proposed historical significance of the property as more fully described in 2-495 (b);(attach additional information as desired).</p>			
1. Have the Florida Heritage Landmark status as determined by the Florida Department of State's Historical Division of Historical Resources by being on the Division's Florida Register of Heritage Landmarks; No			
2. Be listed on the National Register of Historic Places by the United States Department of the Interior's Nation Parks Service, Office of Cultural Resources; No			

<p>3. Have an association with a significant historical event that made a significant contribution to the broad patterns of our history;</p> <p>No</p>
<p>4. Have regional significance in areas like architecture, having retained those physical characteristics that were present during the period which the structure was built and that are unique to the City of Neptune Beach. Examples include but are not limited to the two-story homes located along First Street with sleeping porches or the mid-century modern homes west of Third Street that were constructed in a manner to capture ocean breezes;</p> <p>Yes, home was constructed in 1937 and retains architecture and physical characteristics of the time period of construction.</p>
<p>5. Have an association with the lives of people significant in our past. A non-exhaustive list of examples of significant people in our past includes those that contributed to an important historical event, or who were noted artists, actors, authors, performers, musicians, soldiers, professional athletes, politicians, scholars, religious figures, social activists or newsworthy persons;</p> <p>Property has been with current family/owners since 1974.</p>
<p>6. Embody distinctive characteristics of a type, period, or method of construction or design and represent the work of a master or notable or renowned architect or builder, or possessing high artistic values; or</p> <p>The subject property represents the 2-story carriage style construction of Neptune Beach in the 1930s.</p>
<p>7. Have the potential to yield information important in prehistory or history.</p> <p>Unknown, but potentially yes for retaining 89 year old structure demonstrating architecture consistent with time period of construction.</p>

No use shall be made of the property which is inconsistent with the historic qualities of the property. Any restoration or repair of the property deemed historically significant to the architectural features of the exterior shall be retained consistent with the historic qualities of the property. The property deemed historically significant shall not be permitted to deteriorate and shall be maintained in good repair and condition to the

extent necessary to preserve the historic value and significance of the property.

Required Attachments -Applicant must include the following: (INCOMPLETE PACKAGES WILL BE RETURNED)
A. 8 1/2" by 11" overhead site plan drawn to an appropriate scale showing the location of all existing and proposed improvements to the property and including all setback measurements from property lines. WHICH HAS NOT BEEN REDUCED.
B. Survey of the property certified by licensed surveyor and dated within one year of application date. SURVEY MUST BE ORIGINAL SIZE AND CAN NOT BEEN REDUCED.
C. Copy of Deed
D. Pictures of the property as it currently exists
E. Letter of authorization for agent to make application (Required only if not made by owner)
F. NON-REFUNDABLE FEE

NO APPLICATION WILL BE ACCEPTED UNTIL ALL THE REQUESTED INFORMATION HAS BEEN SUPPLIED AND THE REQUIRED FEE HAS BEEN PAID. THE ACCEPTANCE OF AN APPLICATION DOES NOT GUARANTEE ITS APPROVAL BY THE HISTORICAL REVIEW BOARD. THE APPLICANT AND SURROUNDING PROPERTIES WILL BE NOTIFIED OF THE PUBLIC HEARING BY MAIL AND POSTING OF THE PROPERTY. THE APPLICANT OR HIS/HER AUTHORIZED AGENT MUST BE PRESENT AT THE MEETING.

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND THE INFORMATION CONTAINED IN THIS APPLICATION. THAT I AM THE PROPERTY OWNER OR AUTHORIZED AGENT FOR THE OWNER WITH AUTHORITY TO MAKE THIS APPLICATION, AND THAT ALL OF THE INFORMATION CONTAINED IN THIS APPLICATION, INCLUDING THE ATTACHMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I HEREBY APPLY FOR A ZONING VARIANCE AS REQUESTED.

NAME (S) OF PROPERTY OWNER (S)

Kathleen Mills

NAME OF AUTHORIZED AGENT

Ian Brown

ADDRESS OF PROPERTY OWNER

226 Florida Blvd, Nep Bch, FL 32266

ADDRESS OF AUTHORIZED AGENT

245 Riverside Ave, Suite 100, Jax, FL 32202

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

Kathleen Mills

OWNER'S AUTHORIZATION FOR AGENT/AFFIDAVIT OF ASSENT

THIS FORM MUST BE FILLED OUT IN THE CASE THAT THE APPLICANT IS NOT THE OWNER OF THE PREMISES UNDER WHICH THE PARTICULAR APPLICATION IS BEING FILED.

Ian A. Brown, Esq. is hereby authorized TO ACT ON BEHALF OF
Kathleen Mills, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Neptune Beach, Florida, for an application related to a variance:

BY: *Kathleen Mills*
Signature of Owner

Kathleen Mills
Print Name

Signature of Owner

Print Name: Kathleen Mills
Daytime Telephone Number _____

State of Florida
County of Duval _____

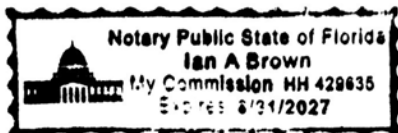
Signed and sworn before me on this 7th day January of 2026.

By Kathleen Mills

Identification verified: FL DL Oath sworn: Yes No

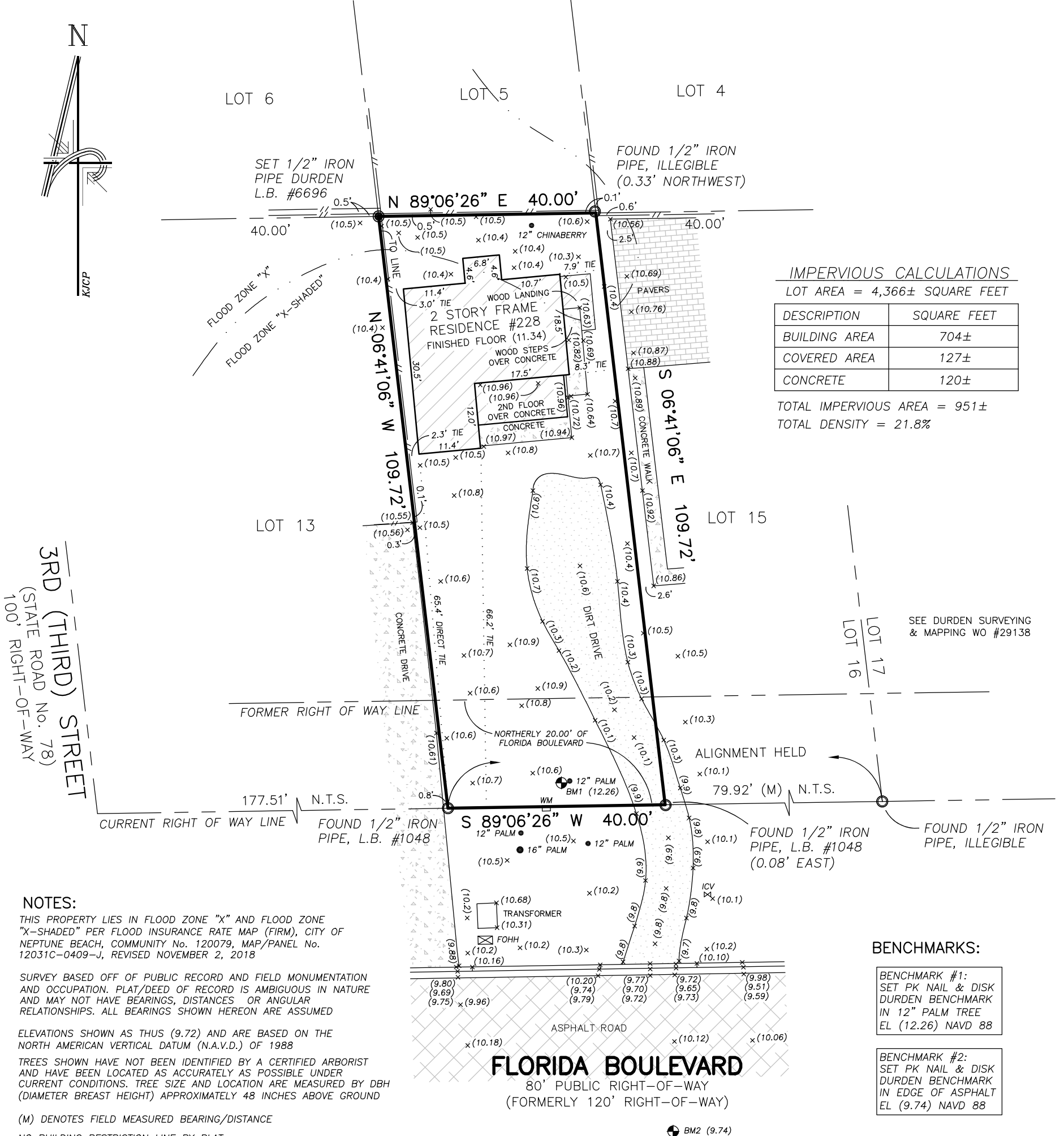
[Signature]
Notary Signature

My Commission expires: 8/31/27



MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF:

LOT 14, BLOCK 6, MERIMAR PLACE UNIT No. 2, AS RECORDED IN PLAT BOOK 15, PAGE 18. OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, TOGETHER WITH THE NORTHERLY 20.00 FEET OF FLORIDA BOULEVARD AS CLOSED BY ORDINANCE No. 10 AND AMENDED BY ORDINANCE No. 27-A.



IMPERVIOUS CALCULATIONS

LOT AREA = 4,366± SQUARE FEET

DESCRIPTION	SQUARE FEET
BUILDING AREA	704±
COVERED AREA	127±
CONCRETE	120±

TOTAL IMPERVIOUS AREA = 951±
TOTAL DENSITY = 21.8%

NOTES:

THIS PROPERTY LIES IN FLOOD ZONE "X" AND FLOOD ZONE "X-SHADED" PER FLOOD INSURANCE RATE MAP (FIRM), CITY OF NEPTUNE BEACH, COMMUNITY No. 120079, MAP/PANEL No. 12031C-0409-J, REVISED NOVEMBER 2, 2018

SURVEY BASED OFF OF PUBLIC RECORD AND FIELD MONUMENTATION AND OCCUPATION. PLAT/DEED OF RECORD IS AMBIGUOUS IN NATURE AND MAY NOT HAVE BEARINGS, DISTANCES OR ANGULAR RELATIONSHIPS. ALL BEARINGS SHOWN HEREON ARE ASSUMED

ELEVATIONS SHOWN AS THUS (9.72) AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988

TREES SHOWN HAVE NOT BEEN IDENTIFIED BY A CERTIFIED ARBORIST AND HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE UNDER CURRENT CONDITIONS. TREE SIZE AND LOCATION ARE MEASURED BY DBH (DIAMETER BREST HEIGHT) APPROXIMATELY 48 INCHES ABOVE GROUND

(M) DENOTES FIELD MEASURED BEARING/DISTANCE

NO BUILDING RESTRICTION LINE BY PLAT

N.T.S. DENOTES NOT TO SCALE

ALL LOTS SHOWN HEREON LIE WITHIN BLOCK 6

--- DENOTES 6' WOOD FENCE

ALL BENCHMARKS SHOWN WERE GPS OBSERVED

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR ABSTRACT OF TITLE. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

BENCHMARKS:

BENCHMARK #1:
SET PK NAIL & DISK
DURDEN BENCHMARK
IN 12" PALM TREE
EL (12.26) NAVD 88

BENCHMARK #2:
SET PK NAIL & DISK
DURDEN BENCHMARK
IN EDGE OF ASPHALT
EL (9.74) NAVD 88

SYMBOL LEGEND:

- ☒ FOHH DENOTES FIBER OPTIC HAND HOLE
- ◻ WM DENOTES WATER METER
- ☒ ICV DENOTES IRRIGATION CONTROL VALVE
- EL DENOTES ELEVATION

CERTIFIED TO:

KATHLEEN ROCHE MILLS

DURDEN
SURVEYING AND MAPPING, INC.
985 11TH AVENUE SOUTH
JACKSONVILLE BEACH, FLORIDA 32250
(904) 853-6822 FAX(904) 853-6825
DURDENSURVEYING@GMAIL.COM
LICENSED BUSINESS NO. 6696

I hereby certify that this survey meets the standards of practice as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 Florida Statutes and Chapter 5J17 Florida Administrative Code

H. Bruce Durden, Jr.
FLORIDA REGISTERED SURVEYOR No. 4707
H. BRUCE DURDEN, JR.

FIELD: NOVEMBER 12, 2025
CAD FILE No. L-14, B-6(228 FLORIDA AVE).DWG
SCALE: 1" = 20'
WORK ORDER NUMBER: 25545 B-10816

SURVEYOR'S NOTE:

THE SURVEY HEREON WAS MADE WITHOUT THE BENEFIT OF ABSTRACT OR SEARCH OF TITLE AND THEREFORE THE UNDERSIGNED AND DURDEN SURVEYING AND MAPPING, INC., MAKE NO CERTIFICATIONS REGARDING INFORMATION SHOWN OR NOT SHOWN HEREON PERTAINING TO EASEMENTS, CLAIMS OF EASEMENTS, RIGHTS-OF-WAY, SETBACK LINES, OVERLAPS, BOUNDARY LINE DISPUTES, AGREEMENTS, RESERVATIONS OR OTHER SIMILAR MATTERS WHICH MAY APPEAR IN THE ABSTRACT OR SEARCH OF TITLE. THIS SURVEY NOT VALID UNLESS THIS PRINT IS EMBOSSED WITH THE SEAL OF THE ABOVE SIGNED.

This instrument prepared by:
Sabrina Bateh Kuruvilla, Attorney at Law
Three Oaks Law
13500 Sutton Park Drive South, Suite 601
Jacksonville, Florida 32224

Preparer has not examined the title to the property described herein; no warranty or other representation is made, and no opinion is expressed or implied as to the ownership of the property, the condition of its title, its quality, the location of its boundaries, or the existence of any liens, unpaid taxes or encumbrances affecting it.

Parcel Identification Number: 173169-0000

QUITCLAIM DEED

THIS QUITCLAIM DEED, executed on August 9, 2024, by **Kathleen R. Mills, a widowed woman** (hereinafter referred to as "Grantor"), whose mailing address **226 Florida Blvd., Apt 2, Neptune Beach, Florida 32266**, to **Kathleen Roche Mills and Stacey Mills, Trustees of the Kathleen Roche Mills Living Trust, dated August 9, 2024, and any amendments thereto** (hereinafter referred to as "Grantee") whose mailing address is **226 Florida Blvd. Neptune Beach, Florida 32266**.

WITNESSETH, that the said Grantor(s), for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) in hand paid by said Grantee(s), the receipt of which is hereby acknowledged, do hereby remise, release, convey and quit-claim unto the said Grantee(s) forever, all the right, title, interest, claim and demand which the said Grantor(s) have in the following described property located in the County of Duval, State of Florida, to-wit:

Lot Fourteen (14), Block Six (6), MERIMAR PLACE, UNIT #2, according to the plat recorded in Plat Book 15, page 18, of the Current Public Records of Duval County, Florida.

Commonly known as 228 Florida Blvd. Neptune Beach, Florida 32266

Full power and authority are conferred upon the Grantee(s), to protect, conserve, sell, convey, lease, grant and encumber all interests conveyed by this instrument, and otherwise to manage and dispose of those interests, it being the intent of the Grantor(s) to vest in the Trustee of the Trust full rights of ownership as authorized by Section 689.073 of the Florida Statutes

TO HAVE AND TO HOLD the same together with all singular appurtenances thereunto belonging in or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever for the said Grantor(s), either in law or equity, to the only proper use, benefit and behoove of the said Grantee(s) forever.

NOTE TO CLERK AND REVENUE DEPARTMENT: THIS DEED CONVEYS REAL PROPERTY TO THE TRUSTEE OF A TRUST WHICH IS REVOCABLE BY GRANTOR(S) AND IS NOT SUBJECT TO DOCUMENTARY STAMP TAX PURSUANT TO FLA. ADMIN CODE RULE 12B-4.013(28)(a) and (i).

IN WITNESS WHEREOF, the Grantor(s), by **Kathleen R. Mills, a widowed woman**, has caused this Quitclaim Deed to be executed on this August 9, 2024.

Signed in the presence of:

Hezrona Moxyz-Currie
Hezrona Moxyz-Currie, Witness
13500 Sutton Park Drive S., Suite 601
Jacksonville, Florida 32224

Kathleen R. Mills
Kathleen R. Mills, Grantor

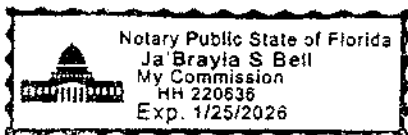
Mary Hartley
Mary Hartley, Witness
13500 Sutton Park Drive S., Suite 601
Jacksonville, Florida 32224

STATE OF FLORIDA

COUNTY OF DUVAL

The foregoing instrument was acknowledged before me on August 9, 2024 by **Kathleen R. Mills** by means of physical presence or online notarization [] who is personally known to me or [] who has produced a valid Florida driver's license as identification in the presence of the subscribing witnesses, **Hezrona Moxyz-Currie** by means of physical presence or online notarization who is personally known to me or [] who has produced a valid Florida driver's license as identification and **Mary Hartley** by means of physical presence or online notarization who is personally known to me or [] who has produced a valid Florida driver's license as identification.

SEAL



Ja'Brayla S. Bell
Ja'Brayla S. Bell, Notary Public—State of Florida
13500 Sutton Park Drive South, Suite 601
Jacksonville, FL 32224
My commission expires 01/25/2026
Notary registration no. HH220636

Subject Photos

228 Florida Blvd, Neptune Beach, FL 32266



Front Elevation



Rear Elevation



Side Elevations

Table 27-239

	R-1	R-2	R-3	R-4 ¹	R-5 ²	C-1	C-2	C-3	CBD ²	NC Overlay	RC Overlay
	Single-Family Residential			Single/ Two-Family Res.	Multi-Family ¹⁴	Commercial					Single/ Two-Family Res.
Building Height											
Max. Height ³	28'	28'	28'	28'	28'	35'	35'	35'	35'	35'	28'
Max. Stories	2	2	2	2	2	3	3	3	3	3	2
Density (dwelling units divided by gross site area in acres - du/a)											
Max. Density (du/a)	5	5	5	10	17	-	-	-	10	-	10
Setbacks											
Front Yard ⁴	25' min.	20' min.	15' min.	Flexible ⁵	30' min.	10' min. 25' max.	25' min.	15' min. 30' max.	0' min. 10' max. ⁶	5' min. 15' max.	10' min. 25' max.
Rear Yard	30' min.	25' min.	25' min.	Flexible ⁵	30' min.	10' min.	15' min.	20' min.	5' min.	10' min.	15' min.
Side Yard (Internal)	10' min.	10% of lot width (7' min.)	10% of lot width (7' min.)	7' min. ⁷	25' min.	5' min.	15' min.	5' min.	0' min.	0' min.	7' min. ⁷
Side Yard (Street)	15' min.	10' min.	10' min.	8' min.	25' min.	10' min. 25' max.	20' min.	10' min. 25' max.	5' min. 15' max.	10' min. 25' max.	8' min. 25' max.
Frontage Buildout											
Primary Street	-	-	-	-	-	70% min. ⁸		70% min.	70% min.	-	-
Lot Dimensions/Size											
Min. Lot Area (SF.)	12,000	10,000	5,000	4,356	-	7,500	10,000	15,000	-	7,500	4,356 ¹⁰

Max. Lot Area (SF)	-	-	-	15,000	-	-	-	-	-	-	15,000
Min. Lot Width (FT)	100'	85'	50'	50'	200'	60'	80'	100'	-	50'	50' ¹¹
Max. Lot Coverage	50%	50%	50%	50%	35%	70%	70%	75%	85%	70%	50% ⁹
Additional											
Max. Building Floor Area (sq. ft.) ¹²	-	-	-	-	-	30,000	60,000	60,000	25,000	20,000	-

EXHIBIT A

- ¹ The minimum R-4 and RC Overlay lot dimensions in this table are superseded by the actual dimensions of smaller lots if those lots were lawfully platted and recorded prior to December 2, 2019, in the Office of the Clerk of the Circuit Court of Duval County, Florida.
- ² Any single/two-family homes or multifamily structures in CBD shall comply with the development standards for the RC overlay.
- ³ For lots in the R-1 zoning district that have a minimum lot size of twelve thousand (12,000) square feet and one hundred (100) feet lot width as measured at the building line parallel to the front face of the house and perpendicular to the primary side yard, thirty-five (35) feet of maximum building height will be permitted, so long as the primary roof structure is built at a minimum five-twelfths roof pitch, and not to exceed two (2) stories of living area.
- ⁴ More specific front yard setbacks shall apply in locating new structures around the following road segments: Penman Road, Seagate Avenue, and Florida Boulevard (See subsection 27-231(b).)
- ⁵ The front and rear yard setbacks may be flexible in that both measurements must total thirty-five (35) feet; however, neither can measure less than the fifteen (15) feet.
- ⁶ New developments built to the front lot line will need to be cleared by public works first to ensure there are no infrastructure conflicts. ⁷ Duplexes comprised of two attached homes shall be exempt from the interior side setback where the units meet.
- ⁸ Lots less than 120' wide may have a reduced minimum frontage buildout of 60% in order to accommodate side yard parking.
- ⁹ Additionally, 25% of the overall site, or half of the required pervious area, must be comprised of greenspace.
- ¹⁰ Min. lot area for duplexes shall be 8,500 square feet, or 4,356 square feet for each unit if divided into two fee simple lots.
- ¹¹ Min. lot width for duplexes that have been divided into two fee simple lots of 40' each prior to December 2, 2019 shall be deemed conforming.
- ¹² No standalone building shall exceed the maximum floor area shown. Additional information can be found in Section 27-237.
- ¹³ Lots bounded by more than two streets may elect no more than two primary streets. All other streets shall meet the setback and frontage requirements for secondary streets. In these unique cases there may not be a rear yard.
- ¹⁴ Multifamily residences on lots less than one-half acre shall only utilize a maximum of 70% lot coverage.

EXHIBIT A

Julianne N. Overby, R.A.
2452 Pullian Street
Jacksonville Beach, Florida
32550
904-704-8628
JNO@JNOVERBY.COM
FL AR-0017060 · FL ID-4621



BIRDSONG RESIDENCE
228 FLORIDA BLVD.
NEPTUNE BEACH, FL 32266

DATE ISSUED:
DECEMBER 23, 2025

NOTE:
DO NOT SCALE DRAWINGS.
IF PRINTED ON 11"x17"
MEDIA, DRAWING SCALE
IS HALF-SIZED.

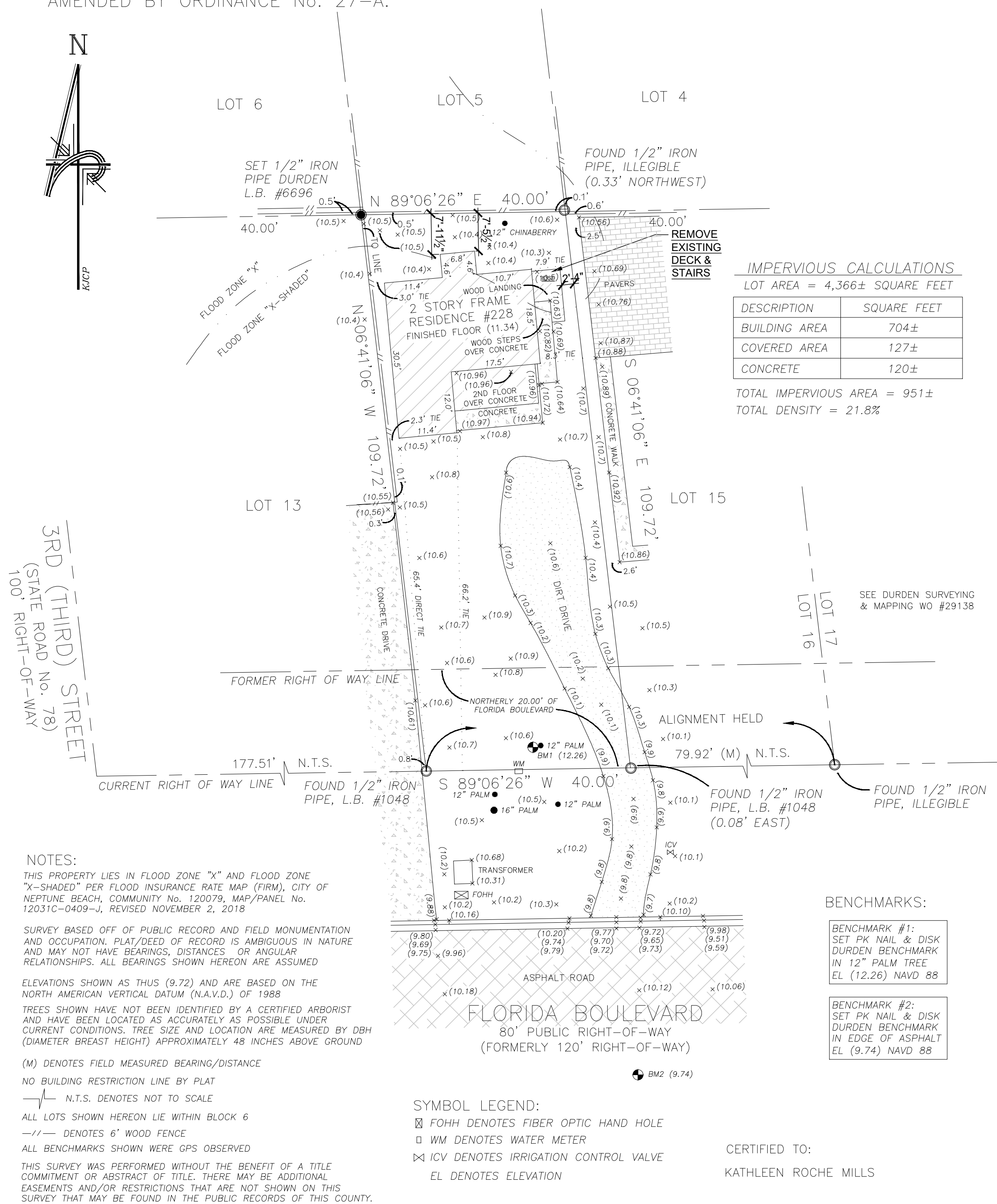
**ARCHITECTURAL
SITE
PLAN**

T1

PERMIT SET

MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF:

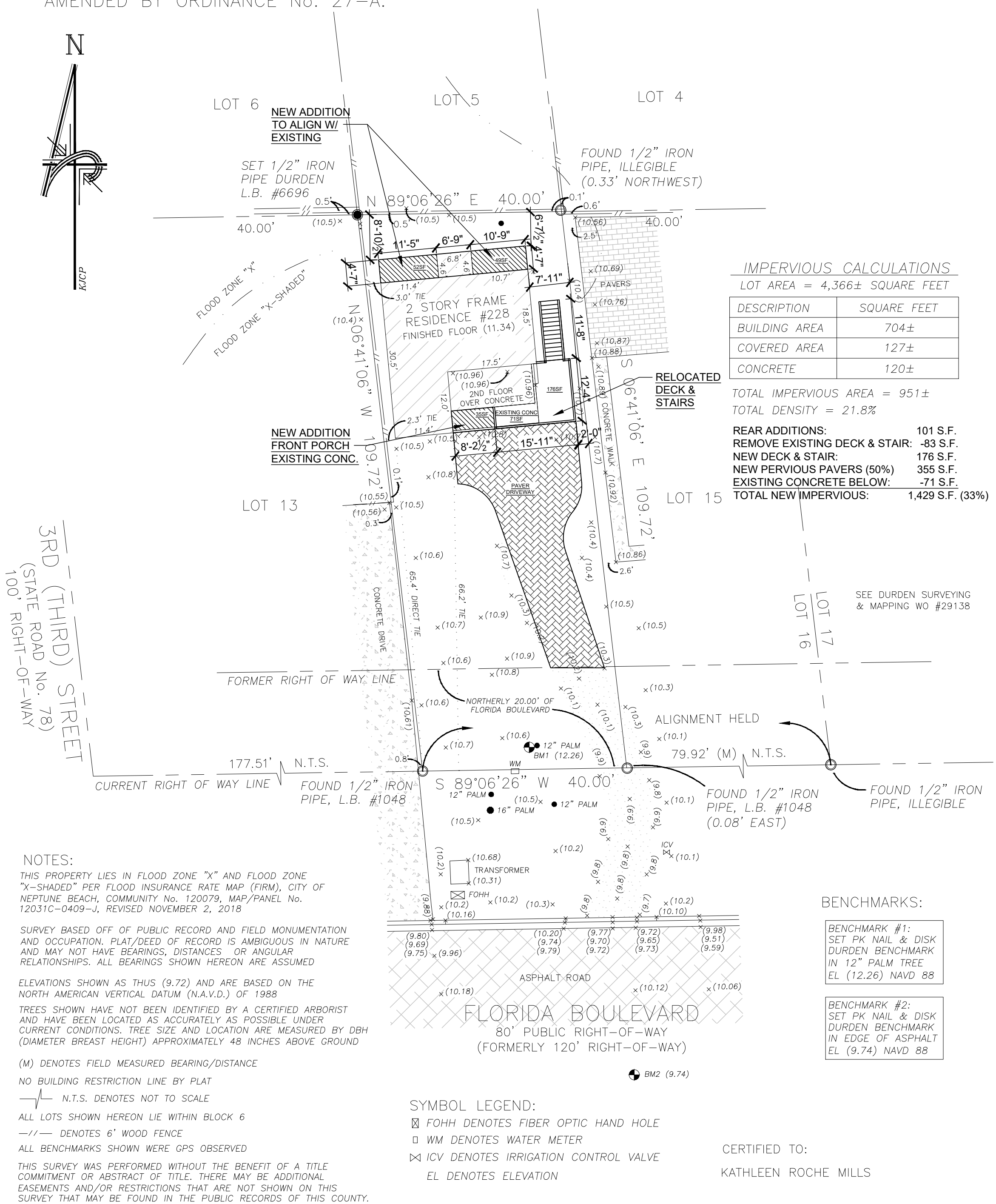
LOT 14, BLOCK 6, MERIMAR PLACE UNIT No. 2, AS RECORDED IN PLAT BOOK 15, PAGE 18. OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, TOGETHER WITH THE NORTHERLY 20.00 FEET OF FLORIDA BOULEVARD AS CLOSED BY ORDINANCE No. 10 AND AMENDED BY ORDINANCE No. 27-A.



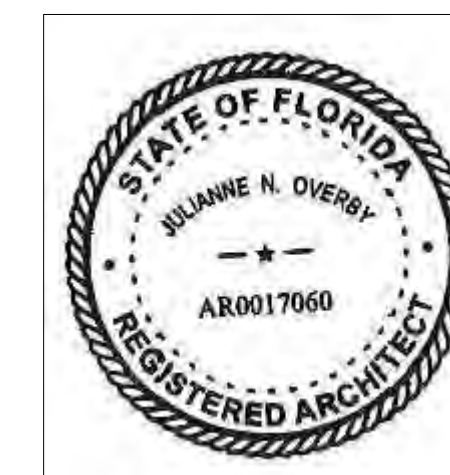
EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"

MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF:

LOT 14, BLOCK 6, MERIMAR PLACE UNIT No. 2, AS RECORDED IN PLAT BOOK 15, PAGE 18. OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, TOGETHER WITH THE NORTHERLY 20.00 FEET OF FLORIDA BOULEVARD AS CLOSED BY ORDINANCE No. 10 AND AMENDED BY ORDINANCE No. 27-A.



PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"



BIRDSONG RESIDENCE
228 FLORIDA BLVD.
NEPTUNE BEACH, FL 32266

DATE ISSUED:
DECEMBER 23, 2025

NOTE:
DO NOT SCALE DRAWINGS.
IF PRINTED ON 11"X17"
MEDIA, DRAWING SCALE
IS HALF-SIZED.

**EXTERIOR
ELEVATIONS**

A2

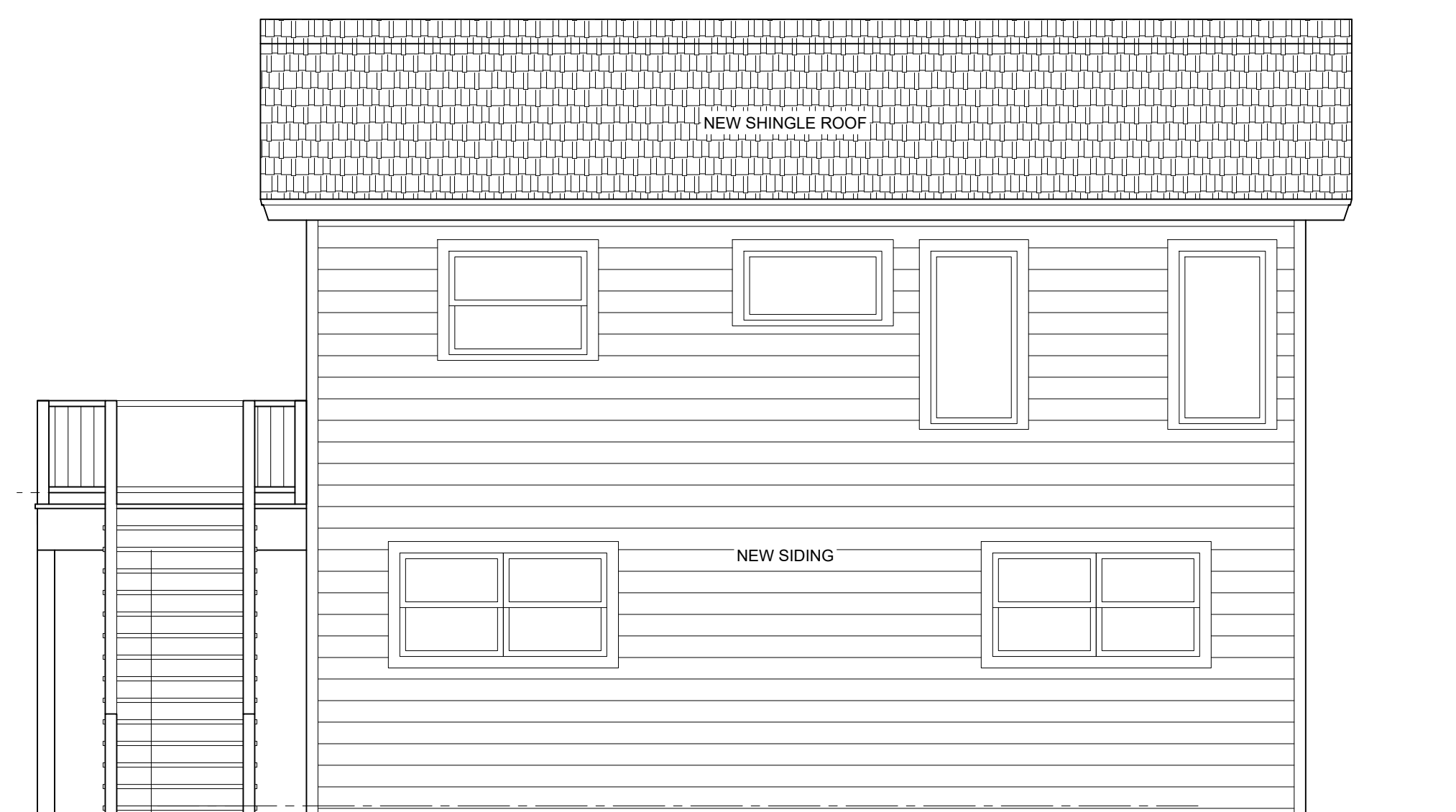
PERMIT SET



A
FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"



B
SIDE ELEVATION
A2 SCALE: 1/4" = 1'-0"



C
REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



D
SIDE ELEVATION
A2 SCALE: 1/4" = 1'-0"

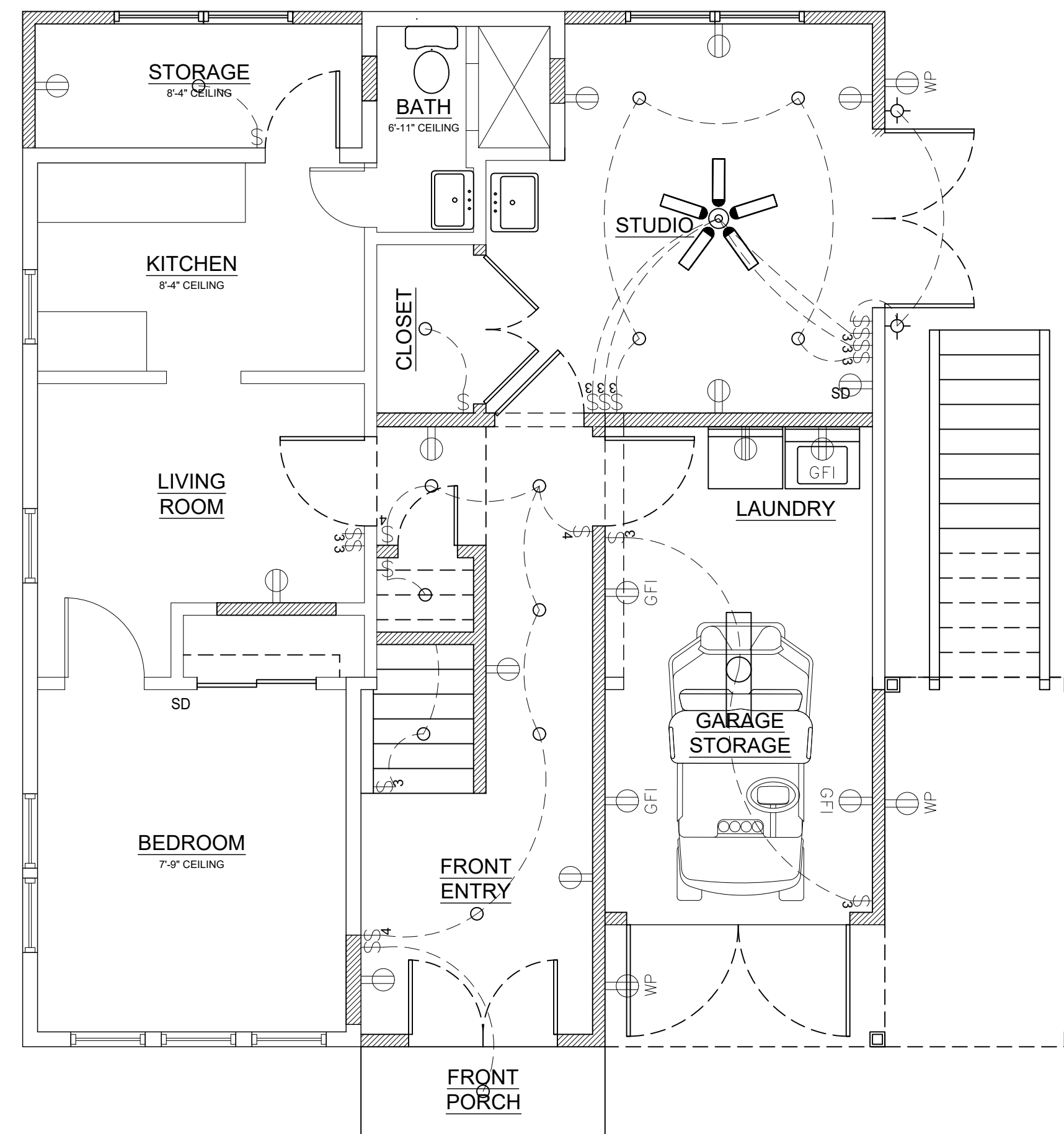
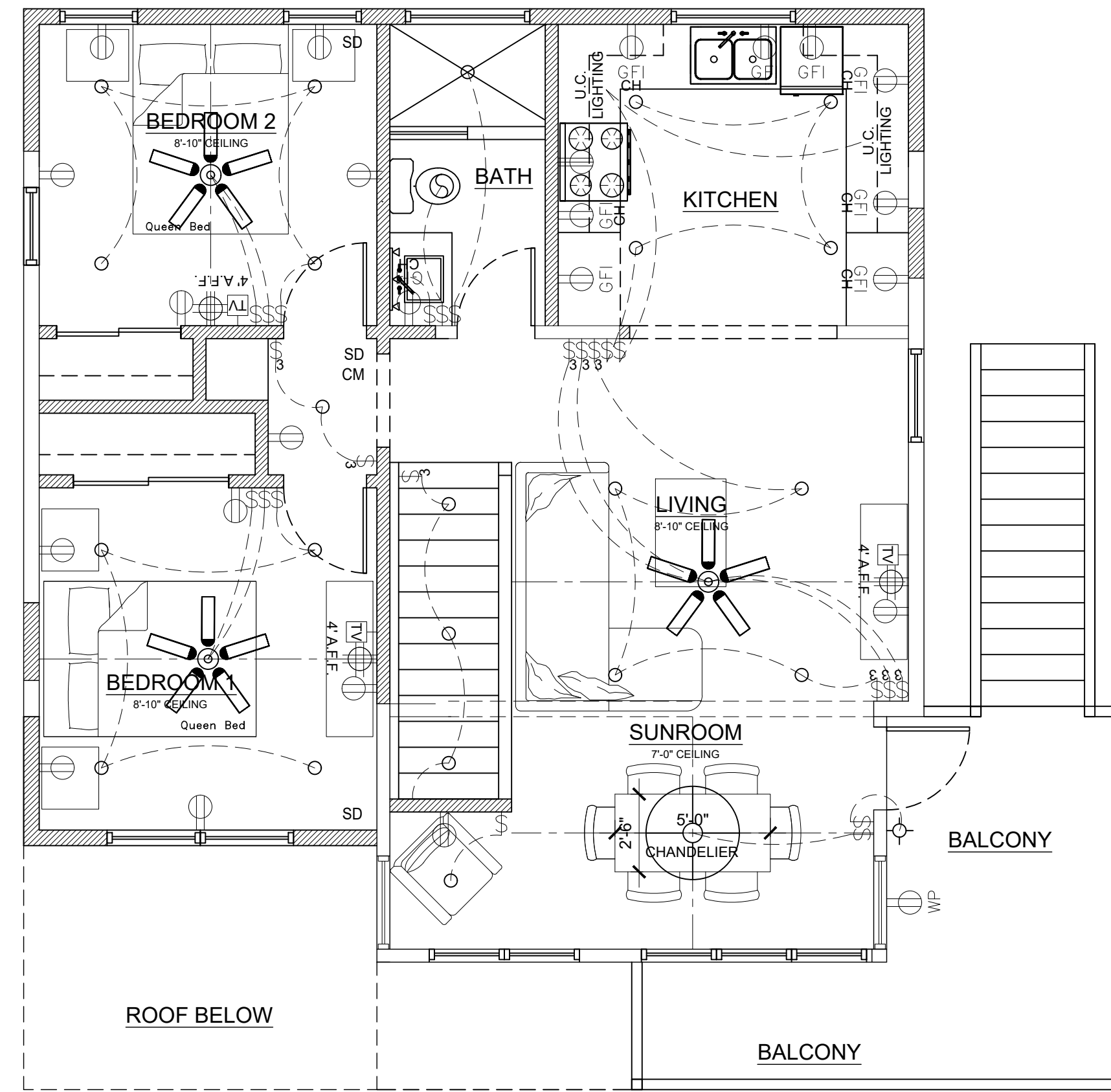
ELECTRICAL LAYOUT PLAN NOTES:

1. VERIFY ALL EXISTING CONDITIONS.
2. COORDINATE LIGHT FIXTURE LOCATIONS CONTRACTOR ANY DISCREPANCIES SHALL BE COMMUNICATED TO THE ARCHITECT BEFORE CONSTRUCTION PROCEEDS FOR COORDINATION.
3. LIGHT FIXTURES SHALL BE LOCATED AS CLOSELY AS POSSIBLE TO LOCATIONS SHOWN ON THIS PLAN.
4. FIXTURES SHALL ALIGN WITH OR CENTER ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENTS.
5. COORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLS SO THAT THEY ALIGN WITH OR ARE SYMMETRICAL WITH EACH OTHER WHERE THERE MAY BE CONFLICTS.
6. GRILLS & REGISTERS SHALL BE BLOCKED AS REQUIRED SO THAT THEY CAN ALIGN WITH LIGHT FIXTURES.
7. LIGHT FIXTURE & SWITCH LOCATIONS SHALL BE REVIEWED & APPROVED BY OWNER OR DESIGNER BEFORE INSTALLATION OF SHEET ROCK OR OTHER WALL & CEILING FINISHES.
8. SWITCHES SHALL BE LOCATED ADJACENT TO, BUT NOT INTERSECTING DOOR CASING OR TRIM.
9. GROUPED SWITCHES SHALL BE GANGED TIGHT TOGETHER & SHALL BE COVERED WITH A SINGLE PLATE DESIGNED FOR THAT PURPOSE.
10. SWITCHES SHALL TYPICALLY BE MOUNTED 48" A.F.F. TO CENTER OF THE SWITCH.
11. SUPPORT ALL FIXTURES FROM STRUCTURE OF BUILDING. REFER TO STRUCTURAL SHEETS FOR SPECIFIC DETAILS AS REQUIRED FOR SPECIALTY FIXTURES.
12. VERIFY DEVICE & PLATE COLORS WITH OWNER OR DESIGNER.
13. VERIFY LIGHTING TYPE & SWITCHING.
14. FLUORESCENT LAMPS SHALL BE "WARM WHITE DELUXE" UNLESS OTHERWISE NOTED OR SPECIFIED ON THE SCHEDULE.
15. ALL LIGHT BULBS SHALL BE COMPACT FLUORESCENT OR LED BULBS UNLESS OTHERWISE NOTED.
16. COORDINATE THERMOSTAT AND DOORBELL LOCATIONS WITH OWNER.

ELECTRICAL LEGEND			
	CABLE		
	DUPLEX OUTLET		
	220 OUTLET		
	GFI RECEPTACLE		
	EXTERIOR/GFI RECEPTACLE		
	SWITCH		
	3-WAY SWITCH		
	SMOKE DETECTOR	CM	CARBON MONOXIDE DETECTOR
	COUNTERTOP HEIGHT		

NOTES:

1. TELEPHONE OUTLETS TO BE 'CAT 5E' WIRE.
2. SMOKE DETECTION PER FIRE CODE.
3. SERVICE PANEL AND ELECTRIC METER LOCATION TO BE DETERMINED W/ INPUT FROM THE OWNER AND LOCAL UTILITY COMPANY.
4. ALL RECEPTACLE TO HAVE ARC-FAULT CIRCUIT INTERRUPTERS PER ARTICLE 210-12.
5. HVAC DISCONNECT TO BE PROVIDED BY MECHANICAL SUBCONTRACTOR.
6. ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH LATEST EDITION OF NEC AND FBC.
7. 100% OF ALL INTERIOR AND EXTERIOR PERMANENT LIGHT FIXTURES TO USE CFL/LED LAMPS.



JNOOverby, LLC
ARCHITECTURE · INTERIOR DESIGN

Julianne N. Overby, R.A.
2452 Pullian Street
Jacksonville Beach, Florida
32550
904-704-8628
JNO@JNOVERBY.COM
FL AR-0017060 · FL ID-4621



BIRDSONG RESIDENCE
228 FLORIDA BLVD.
NEPTUNE BEACH, FL 32266

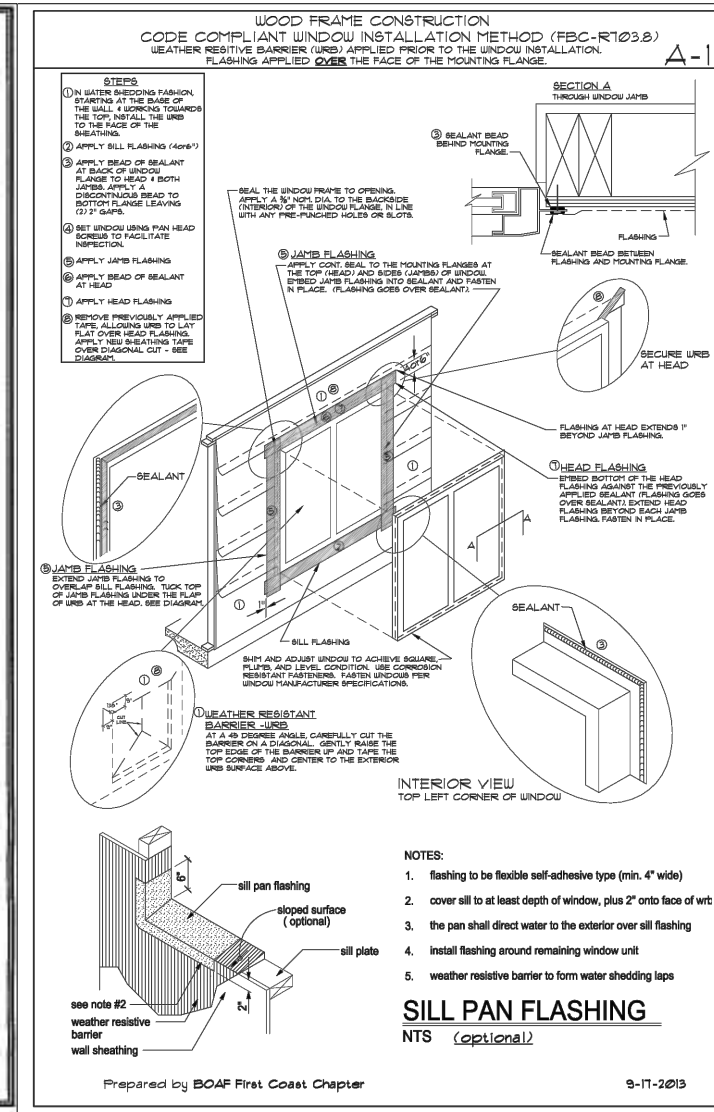
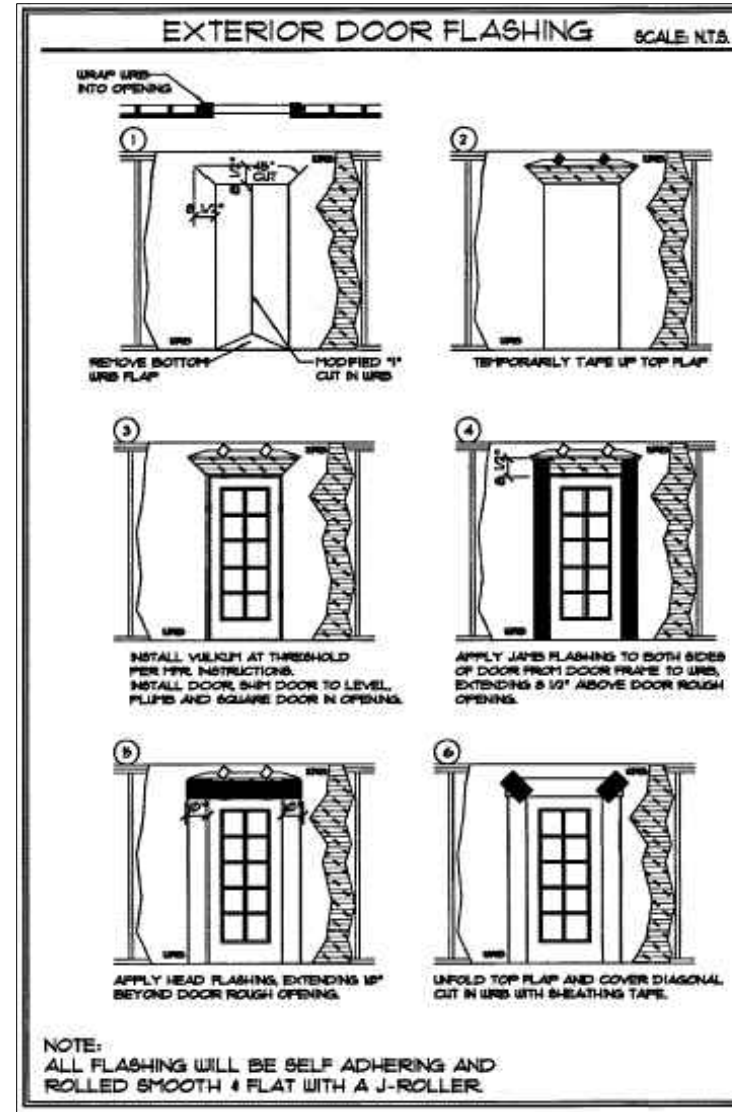
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**ELECTRICAL
LAYOUT
PLANS**

A3

PERMIT SET



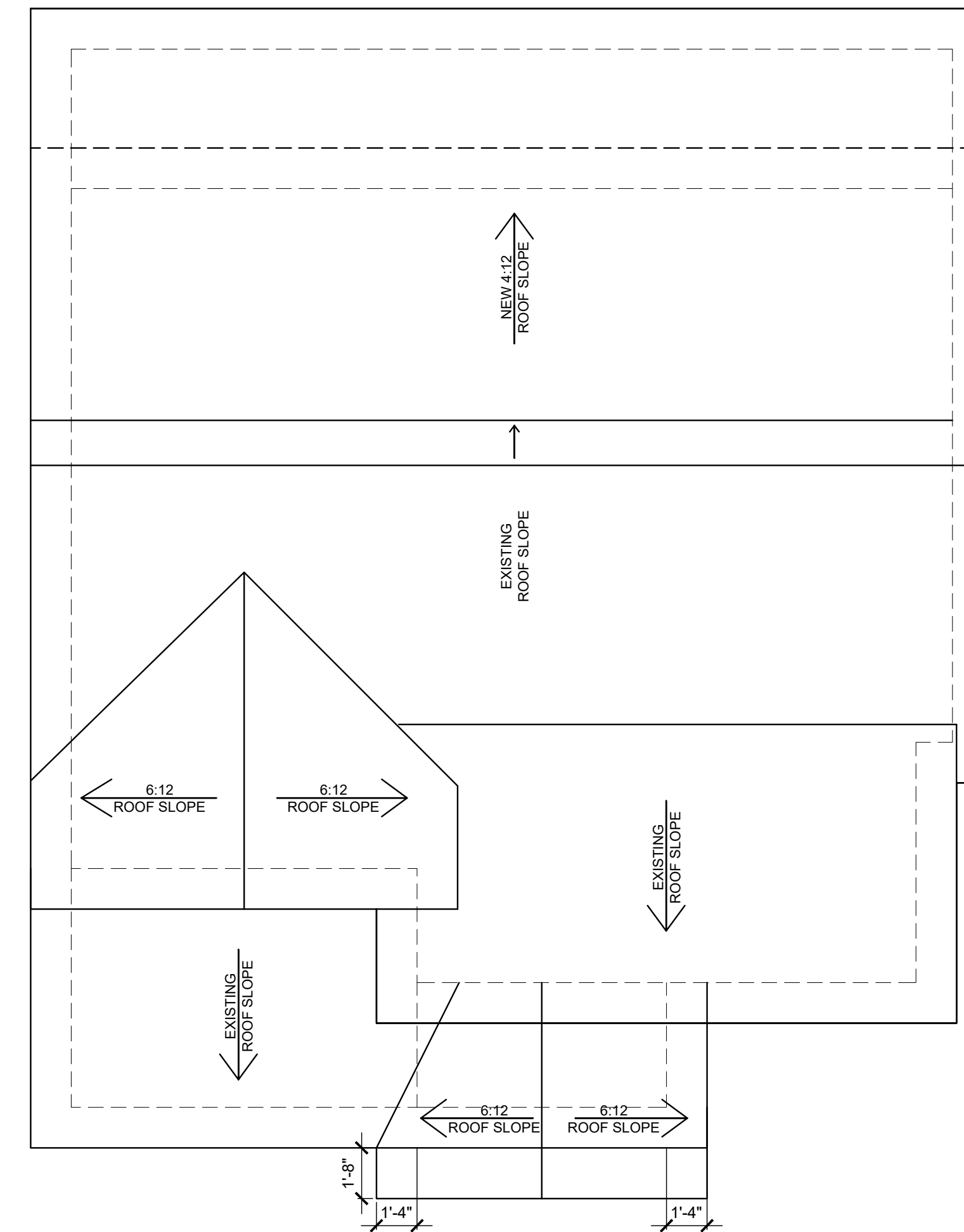
NOTE: THESE DETAILS USED FOR DOORS & WINDOW.
 ALL FLASHING TO MEET FBC R903.2.1, R905.2.8 & R703.8 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ROOF PLAN NOTES:

1. DO NOT SCALE DRAWINGS.
2. IF DIMENSIONS ARE IN QUESTION, THE ROOFER SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION
3. BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT JOBSITE.
4. SEE FLOOR PLAN FOR BUILDING DIMENSIONS.
5. ALL ROOFING AND ROOFING DETAILS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
6. ROOFING SUBCONTRACTOR SHALL HAVE APPROPRIATE LICENSE(S) AS REQUIRED IN JURISDICTION OF CONSTRUCTION.
7. NO WORK SHALL CONFLICT WITH THE MANUFACTURER'S GUARANTEE OR WARRANTY.
8. WRITTEN WARRANTY SHALL BE PROVIDED TO OWNER AND INCLUDED IN THE CLOSE OUT DOCUMENTS PROVIDED BY GC.
9. PROVIDE FLASHING AS PER DETAILS OR AS PER SMACNA IF NO DETAILS ARE SHOWN WHERE ROOF PITCH CHANGES OR WHERE ROOFING INTERSECTS WITH VERTICAL SURFACES.
10. THE INSTALLATION SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL ROOFING WORK .
11. ALL EXHAUST FAN, VENT, FLUE & STACK OPENINGS ARE TO BE CUT & SEALED BY BUILDER.
12. ROOF VENT TERMINALS SHALL BE 12' AWAY FROM AND 2' ABOVE ANY AIR INTAKE, DOOR OR WINDOW, 18" AWAY FROM ANY VERTICAL WALL EXTENDING ABOVE ROOF VENT, AND NOT BELOW ANY ROOF EAVE, OR AS REQUIRED BY LOCAL CODES.

ROOF VENTS/PENETRATIONS:

ALL RIDGE VENTS AND PENETRATIONS TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS-
 APPLY ROOFING CEMENT OR SELF ADHERING FLASHING OVER VENT FLANGE AT THE HEAD
 INSTALL SHINGLE OVER THE VENT FLANGE HEAD



ROOF PLAN
 SCALE: 1/4" = 1'-0"

Julianne N. Overby, R.A.
 2452 Pullian Street
 Jacksonville Beach, Florida
 32550
 904-704-8628
 JNO@JNOVERBY.COM
 FL AR-0017060 · FL ID-4621



BIRDSONG RESIDENCE
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**ROOF
 PLAN
 AND
 DETAILS**

A5

PERMIT SET

CITY OF NEPTUNE BEACH – HISTORIC REVIEW BOARD



STAFF REPORT

MEETING DATE: January 28, 2026
BOARD/COMMITTEE: Historic Review Board
APPLICATION NUMBER: COA26-01

TO: Historic Review Board

FROM: Heather Whitmore, AICP, PTP Community Development Director

DATE: January 25, 2026

SUBJECT: Certificate of Appropriateness: 228 Florida Blvd (RE# 173169-0000)

I. BACKGROUND:

Application for Certificate of Appropriateness as outlined in Chapter 2 Section 497 of the General Code of Neptune Beach for Kathleen Mills for a building addition to the property currently known as 228 Florida Blvd (RE# 173169-0000). The property is in the R-4/RC Overlay zoning district.

II. DISCUSSION:

The applicant requests a Certificate of Appropriateness for an addition to the subject property. The home is located on the northern side of the 200 block of Florida.

The 4,366 square foot lot contains a two story duplex built in 1937. The existing interior square footage is approximately 1,503 square feet. The existing house is setback approximately 66 feet from the front property line along Florida, 2.5 feet on the eastern side property line, 2.3 feet on the western side property line and 7.5 feet on the northern rear property line. The existing lot coverage is 21.8% and the Floor Area Ratio is 34%.

The proposed improvements include the following:

- +/- 400 square foot two story interior renovation with 101 square foot addition in northern rear yard
- Replace front porch

- Replace doors/exterior siding
- Two story deck and stairs in southern front yard
- Two story deck and stairs in eastern side yard
- Replace existing driveway with pervious pavers

The new interior square footage will be approximately 1,600 square feet. The proposed condition setback will be approximately (66) feet from the front property line along Florida, (2) feet on the eastern side property line, (2.3) feet on the western side property line and (7.5) feet on the northern rear property line. The existing lot coverage is 21.8% and the Floor Area Ratio is 34%.

The R-4/RC Overlay Building and Lot Requirements are outline in LDC Table 27-239 as attached, and are as follows:

	R-4/RC Overlay	228 Florida Blvd (Existing)	228 Florida Blvd (Proposed)
Front Yard Setback	10 feet	66 feet	66 feet
Rear Yard Setback	15 feet	7.5 feet	6.5 feet
Side Yard (Internal)	7 feet	(2.5) feet eastern side (2.3) feet western side	(2) feet eastern side (2.3) feet western side
Side Yard (Street)	8 feet	NA	NA
Lot Coverage (Max)	50%	21.8%	33%
Floor Area Ratio (Max)	65%	34%	36%

The applicant describes the proposed exterior material as follows:

Lower Level / Ground-Contact Walls

Primary Intent:

- Painted brick to provide a visually grounded base
- Soft white, cream, or light paint finish
- Simple masonry application

Upper Level Walls

Primary Intent:

- Wood or wood look composite Shake or shingle-style siding, or equivalent
- Modest exposure and tight scale
- A combination of shingle and lap siding may be used across elevations as needed

Material Transitions and Detailing

Simple horizontal trim is proposed between lower- and upper-level materials to clearly articulate the transition and avoid contemporary detailing. Trim profiles and detailing are intended to remain restrained and modest.

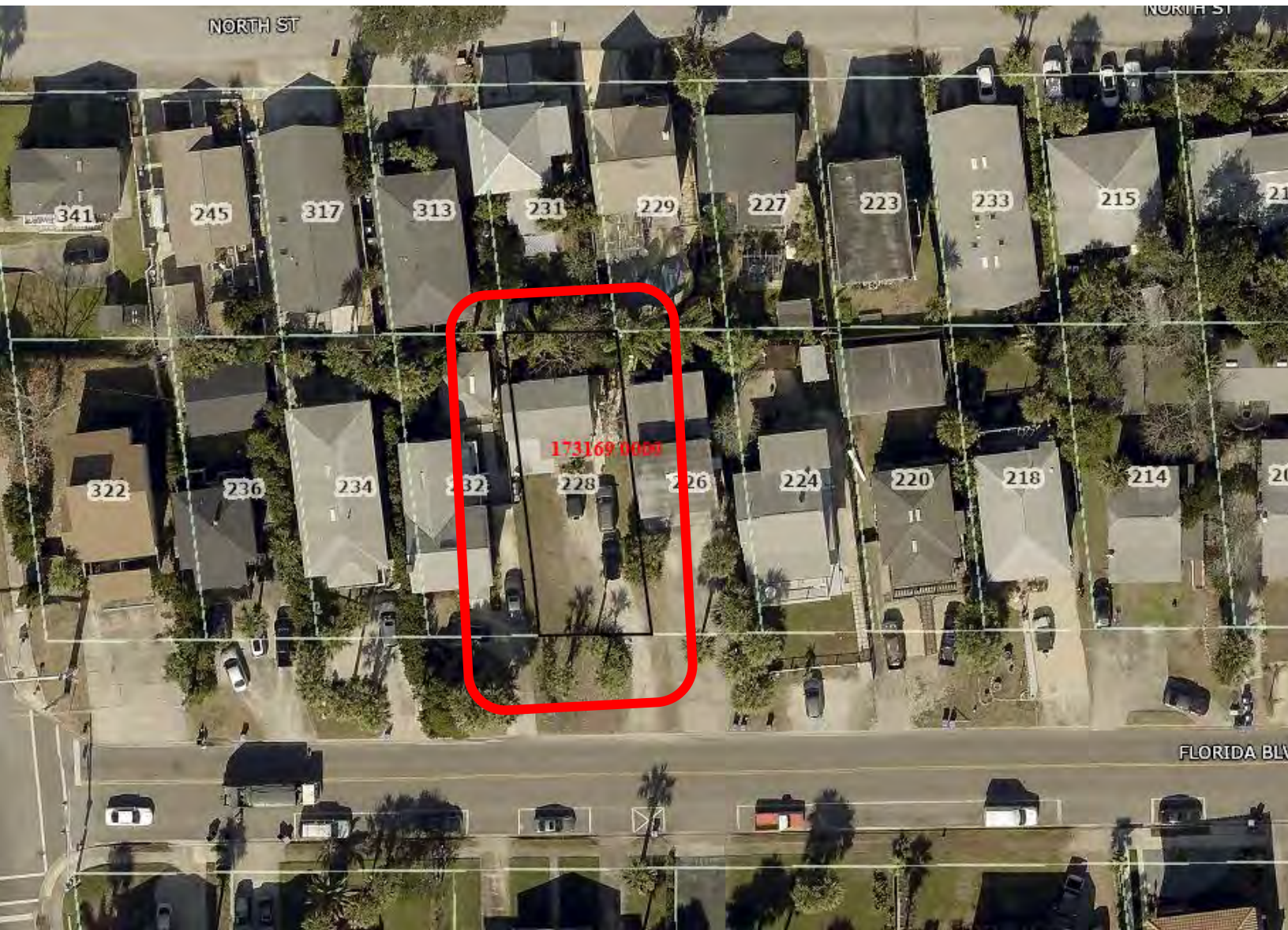


Figure 1: 228 Florida Blvd aerial view



Figure 2: 228 Florida Blvd frontage view

III. GENERAL CRITERIA FINDINGS:

In considering an application for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Historic Preservation Board shall be guided by the following general criteria:

- 1. The effect of the proposed work on the historically significant property upon which such work is to be done;**
 - a. Applicant Response:** The work proposed is to bring many features up to current code and safety requirements, while improving the interior configuration and preserving the architectural style of the 89 year old dwelling.

- 2. The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected.**
 - a. Applicant Response:** The property has deferred maintenance and is in need of renovation; however, the design and architectural style will remain post-renovation, to honor the 1930s time period of construction.

- 3. Whether the plans may be carried out by the applicant within a reasonable period of time.**
 - a. Applicant Response:** Yes, the applicant intends to apply for permitting as soon as approvals are in place. They are eager to renovate and reside in this home that has been in their family over 50 years (since 1974).

IV. UNITED STATES SECRETARY OF THE INTERIOR'S STANDARDS FINDINGS:

Applications for Certificates of Appropriateness for alterations shall be considered by the Historic Review Board in accordance with the following additional criteria, which are based on the United States Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings:

- 1. Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.**
 - a. Applicant Response:** Owners will be using home for the original intended purpose and use, which is a residential use.

- 2. The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.**
 - a. Applicant Response:** Owners will avoid, whenever possible, the removal or alternation of any historic material or distinctive architectural features and the original quality or character of the building shall not be destroyed.

- 3. Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.**
 - a. Applicant Response:** Owners understand the subject property is a product of its own time, specifically the 1930s, and alterations will have consistency and continuity in appearance to that time period.

- 4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.**
 - a. Applicant Response:** Owners understand and acknowledge the statement above and have made best-effort to recognize and respect the significance of the history, along with any changes, over the past 89 year property history.

- 5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site, shall be treated with sensitivity.**
 - a. Applicant Response:** Owners intend to honor the distinctive style and features of the 1937 construction and treat stylistic features and elements of skilled craftsmanship with sensitivity.

6. **Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. However, technologically advanced materials shall be considered and used as replacement alternatives. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.**
 - a. **Applicant Response:** Owners will give special consideration to architectural features when renovating this property. Additionally, efforts will be made to match design, color, texture, and visual qualities.

7. **The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall be not undertaken.**
 - a. **Applicant Response:** Owners to use gentle means if cleaning any historic building materials.

8. **Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any acquisition, protection, stabilization, preservation, rehabilitation, restoration, or reconstruction project.**
 - a. **Applicant Response:** To applicant's actual knowledge, there are no known archaeological resources; however, should they be discovered every reasonable effort shall be made to protect and preserve those resources.

V. REQUIRED BOARD MOTION FINDINGS OF FACT:

The historic review board shall not recommend approval of, any certificate of appropriateness unless it makes a positive finding, based on substantial competent evidence presented at the public hearing, on each of the following criteria:

- 1. The property has unique and peculiar historic significance, which create exceptional and unique building characteristics.**
- 2. The proposed certificate of appropriateness would not adversely affect adjacent and nearby properties or the public in general.**
- 3. The proposed certificate of appropriateness will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.**
- 4. The effect of the proposed certificate of appropriateness is in harmony with the general intent of the ULDC and the specific intent of the relevant subject area(s) of the ULDC.**

VI. EXHIBITS:

- Ex A) Application For Determination Of Historical Significance**
- Ex B) 228 Florida Blvd Survey**
- Ex C) 228 Florida Blvd Deed**
- Ex D) 228 Florida Blvd Photos**
- Ex E) Neptune Beach Table 27-239 Building and Lot Requirements by Zoning**
- Ex F) 228 Florida Blvd Existing/ Proposed Site Plan**
- Ex G) 228 Florida Blvd Existing/ Proposed Floor Plan**
- Ex H) 228 Florida Blvd Existing/ Proposed Elevations Plan Set**
- Ex I) Exterior Materials**
- Ex J) Interior Scope**

APPLICATION FOR CERTIFICATES OF APPROPRIATENESS

THE CITY OF NEPTUNE BEACH COMMUNITY DEVELOPMENT DEPARTMENT
 116 FIRST STREET
 NEPTUNE BEACH, FLORIDA 32266-6140
 PH: 270-2400 Email: Bldgclerk@NBFL.US



IMPORTANT NOTE: THE HISTORICAL REVIEW BOARD, IN CONSIDERING YOUR PETITION, IS ACTING IN A QUASI-JUDICIAL CAPACITY AND ANY DISCUSSION WITH MEMBERS, OTHER THAN AT A PUBLIC MEETING IS PROHIBITED AND ANY SUCH CONTACT MAY VOID YOUR PETITION.

Date Filed: 1/9/26	Zoning District: R-4	Real Estate Parcel Number: 173169-0000
Name & Address of Owner of Record: Kathleen Mills 226 Florida Blvd, Nep Bch, FL 32266 Contact phone number# 904-422-2077 e-mail address johnandbetsybirdsong@gmail.com		Property Address: 228 Florida Blvd, Nep Bch, FL 32266 Number of units on property <u>2</u> Have any previous applications for variance been filed concerning this property? <u>No</u> If Yes, Give Date: _____
Section 2-494 defines Certificate of Appropriateness as follows: <i>Certificate of Appropriateness is a designation required to apply for a Development Permit for any new construction, alteration, relocation, or demolition on a property with a Determination of Historic Significance</i> <i>In considering an application for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Historic Preservation Board shall be guided by the following general criteria, please respond to 1-3 criteria listed below as more fully described in 2-498 (h) ;(attach additional information as desired).</i>		
1. The effect of the proposed work on the historically significant property upon which such work is to be done; The work proposed is to bring many features up to current code and safety requirements, while improving the interior configuration and preserving the architectural style of the 89 year old dwelling.		
2. The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the landmark or the property will be affected. The property has deferred maintenance and is in need of renovation; however, the design and architectural style will remain post-renovation, to honor the 1930s time period of construction.		

3. Whether the plans may be carried out by the applicant within a reasonable period of time.

Yes, the applicant intends to apply for permitting as soon as approvals are in place. They are eager to renovate and reside in this home that has been in their family over 50 years (since 1974).

Applications for Certificates of Appropriateness for alterations shall be considered by the Historic Review Board in accordance with the following additional criteria, which are based on the United States Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, please respond to 1-8 criteria listed below as more fully described in 2-498 (i);(attach additional information as desired).

1. Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building structure, or site.

Owners will be using home for the original intended purpose and use, which is a residential use.

2. The distinguishing original qualities or character of a building, structure, or site shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.

Owners will avoid, whenever possible, the removal or alternation of any historic material or distinctive architectural features and the original quality or character of the building shall not be destroyed.

3. Each building, structure, and site shall be recognized as a product of its own time. An alteration which has no historical basis and which seeks to create an earlier appearance shall be discouraged.

Owners understand the subject property is a product of its own time, specifically the 1930s, and alterations will have consistency and continuity in appearance to that time period.

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Owners understand and acknowledge the statement above and have made best-effort to recognize and respect the significance of the history, along with any changes, over the past 89 year property history.

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site, shall be treated with sensitivity.

Owners intend to honor the distinctive style and features of the 1937 construction and treat stylistic features and elements of skilled craftsmanship with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. However, technologically advanced materials shall be considered and used as replacement alternatives. Repair or replacement of missing architectural features shall be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Owners will give special consideration to architectural features when renovating this property. Additionally, efforts will be made to match design, color, texture, and visual qualities.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall be not undertaken.

Owners to use gentle means if cleaning any historic building materials.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any acquisition, protection, stabilization, preservation, rehabilitation, restoration, or reconstruction project.

To applicant's actual knowledge, there are no known archaeological resources; however, should they be discovered every reasonable effort shall be made to protect and preserve those resources.

All work performed pursuant to the issuance of a Certificate of Appropriateness shall conform to the requirements of such certificate. It shall be the duty of the City to inspect from time to time any work being performed pursuant to such certificate to assure such compliance.

Any Certificate of Appropriateness which has been approved pursuant to the provisions of this Section shall expire 12 months from the date of issuance if the work authorized is not commenced within this period. Further, such certificate shall expire if the work authorized is not completed within five years of the date of issuance, unless otherwise extended by the Historical Review Board.

Required Attachments-Applicant must include the following: **(INCOMPLETE PACKAGES WILL BE RETURNED)**

- A. 8 1/2" by 11" overhead site plan drawn to an appropriate scale showing the location of all existing and proposed improvements to the property and including all setback measurements from property lines.
WHICH HAS NOT BEEN REDUCED.
- B. 8 1/2" by 11" elevation of all building sides drawn to an appropriate scale showing the location of all existing and proposed improvements to the property.
WHICH HAS NOT BEEN REDUCED.
- C. Detailed listing of all material types and colors to be used in proposed conditions.
- D. Survey of the property certified by licensed surveyor and dated within one year of application date.
SURVEY MUST BE ORIGINAL SIZE AND CAN NOT BEEN REDUCED.
- E. Copy of Deed
- F. Pictures of the property as it currently exists
- G. Letter of authorization for agent to make application (Required only if not made by owner)
- H. NON-REFUNDABLE FEE**

NO APPLICATION WILL BE ACCEPTED UNTIL ALL THE REQUESTED INFORMATION HAS BEEN SUPPLIED AND THE REQUIRED FEE HAS BEEN PAID. THE ACCEPTANCE OF AN APPLICATION DOES NOT GUARANTEE ITS APPROVAL BY THE HISTORICAL REVIEW BOARD. THE APPLICANT AND SURROUNDING PROPERTIES WILL BE NOTIFIED OF THE PUBLIC HEARING BY MAIL AND POSTING OF THE PROPERTY. THE APPLICANT OR HIS/HER AUTHORIZED AGENT MUST BE PRESENT AT THE MEETING.

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND THE INFORMATION CONTAINED IN THIS APPLICATION. THAT I AM THE PROPERTY OWNER OR AUTHORIZED AGENT FOR THE OWNER WITH AUTHORITY TO MAKE THIS APPLICATION, AND THAT ALL OF THE INFORMATION CONTAINED IN THIS APPLICATION, INCLUDING THE ATTACHMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I HEREBY APPLY FOR A ZONING VARIANCE AS REQUESTED.

NAME (S) OF PROPERTY OWNER (S)

Kathleen Mills

NAME OF AUTHORIZED AGENT

Ian A. Brown

ADDRESS OF PROPERTY OWNER

226 Florida Blvd, Nep Bch, FL 32266

ADDRESS OF AUTHORIZED AGENT

245 Riverside Ave, Suite 100, Jax, FL 32202

SIGNATURE OF OWNER OR AUTHORIZED AGENT:

Kathleen Mills

OWNER'S AUTHORIZATION FOR AGENT/AFFIDAVIT OF ASSENT

THIS FORM MUST BE FILLED OUT IN THE CASE THAT THE APPLICANT IS NOT THE OWNER OF THE PREMISES UNDER WHICH THE PARTICULAR APPLICATION IS BEING FILED.

_____ Ian A. Brown _____ is hereby authorized TO ACT ON BEHALF OF
_____ Kathleen Mills _____, the owner(s) of those lands described within the attached
application, and as described in the attached deed or other such proof of ownership as may be
required, in applying to Neptune Beach, Florida, for an application related to a variance:

BY: Kathleen Mills
Signature of Owner

Kathleen Mills
Print Name

Signature of Owner

Print Name Kathleen Mills
Daytime Telephone Number 904-422-2077

State of Florida
County of Duval

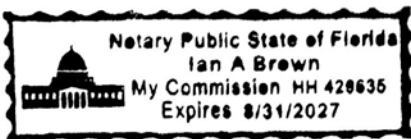
Signed and sworn before me on this 7th day January of 2026.

By Kathleen Mills

Identification verified: FL DL Oath sworn: X Yes No

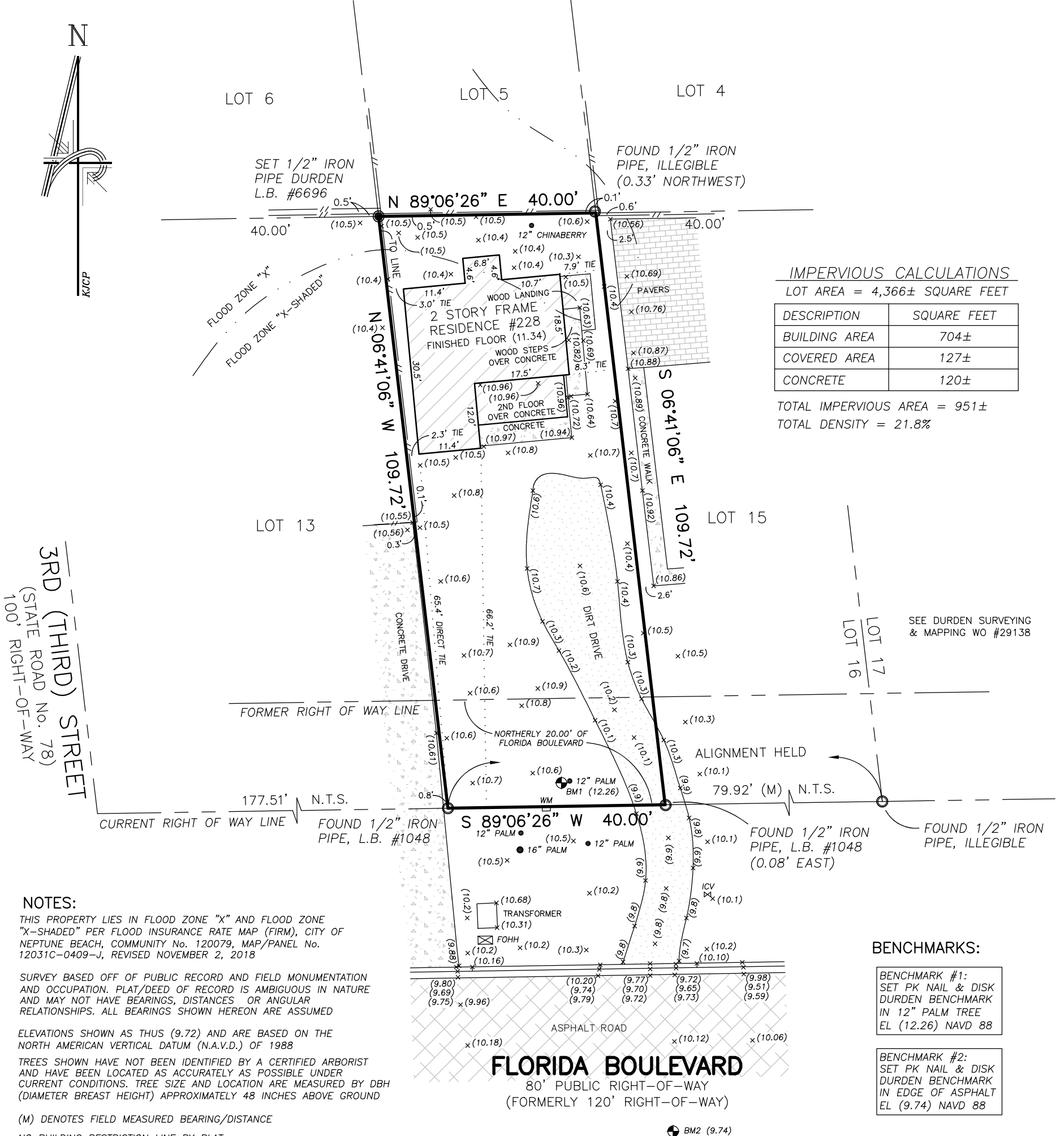
[Signature]
Notary Signature

My Commission expires: 8/31/27



MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF:

LOT 14, BLOCK 6, MERIMAR PLACE UNIT No. 2, AS RECORDED IN PLAT BOOK 15, PAGE 18. OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, TOGETHER WITH THE NORTHERLY 20.00 FEET OF FLORIDA BOULEVARD AS CLOSED BY ORDINANCE No. 10 AND AMENDED BY ORDINANCE No. 27-A.



IMPERVIOUS CALCULATIONS

LOT AREA = 4,366± SQUARE FEET

DESCRIPTION	SQUARE FEET
BUILDING AREA	704±
COVERED AREA	127±
CONCRETE	120±

TOTAL IMPERVIOUS AREA = 951±
TOTAL DENSITY = 21.8%

NOTES:

THIS PROPERTY LIES IN FLOOD ZONE "X" AND FLOOD ZONE "X-SHADED" PER FLOOD INSURANCE RATE MAP (FIRM), CITY OF NEPTUNE BEACH, COMMUNITY No. 120079, MAP/PANEL No. 12031C-0409-J, REVISED NOVEMBER 2, 2018

SURVEY BASED OFF OF PUBLIC RECORD AND FIELD MONUMENTATION AND OCCUPATION. PLAT/DEED OF RECORD IS AMBIGUOUS IN NATURE AND MAY NOT HAVE BEARINGS, DISTANCES OR ANGULAR RELATIONSHIPS. ALL BEARINGS SHOWN HEREON ARE ASSUMED

ELEVATIONS SHOWN AS THUS (9.72) AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988

TREES SHOWN HAVE NOT BEEN IDENTIFIED BY A CERTIFIED ARBORIST AND HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE UNDER CURRENT CONDITIONS. TREE SIZE AND LOCATION ARE MEASURED BY DBH (DIAMETER BREST HEIGHT) APPROXIMATELY 48 INCHES ABOVE GROUND

(M) DENOTES FIELD MEASURED BEARING/DISTANCE

NO BUILDING RESTRICTION LINE BY PLAT

N.T.S. DENOTES NOT TO SCALE

ALL LOTS SHOWN HEREON LIE WITHIN BLOCK 6

--- DENOTES 6' WOOD FENCE

ALL BENCHMARKS SHOWN WERE GPS OBSERVED

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR ABSTRACT OF TITLE. THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

BENCHMARKS:

BENCHMARK #1:
SET PK NAIL & DISK
DURDEN BENCHMARK
IN 12" PALM TREE
EL (12.26) NAVD 88

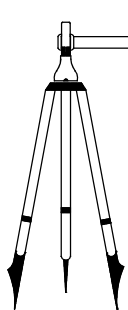
BENCHMARK #2:
SET PK NAIL & DISK
DURDEN BENCHMARK
IN EDGE OF ASPHALT
EL (9.74) NAVD 88

SYMBOL LEGEND:

- ☒ FOHH DENOTES FIBER OPTIC HAND HOLE
- ◻ WM DENOTES WATER METER
- ☒ ICV DENOTES IRRIGATION CONTROL VALVE
- EL DENOTES ELEVATION

CERTIFIED TO:

KATHLEEN ROCHE MILLS



DURDEN
SURVEYING AND MAPPING, INC.
985 11TH AVENUE SOUTH
JACKSONVILLE BEACH, FLORIDA 32250
(904) 853-6822 FAX(904) 853-6825
DURDENSURVEYING@GMAIL.COM
LICENSED BUSINESS NO. 6696

I hereby certify that this survey meets the standards of practice as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 Florida Statutes and Chapter 5J17 Florida Administrative Code

H. Bruce Durden, Jr.
FLORIDA REGISTERED SURVEYOR No. 4707
H. BRUCE DURDEN, Jr.

FIELD: NOVEMBER 12, 2025
CAD FILE No. L-14, B-6(228 FLORIDA AVE).DWG
SCALE: 1" = 20'
WORK ORDER NUMBER: 25545 B-10816

SURVEYOR'S NOTE:

THE SURVEY HEREON WAS MADE WITHOUT THE BENEFIT OF ABSTRACT OR SEARCH OF TITLE AND THEREFORE THE UNDERSIGNED AND DURDEN SURVEYING AND MAPPING, INC., MAKE NO CERTIFICATIONS REGARDING INFORMATION SHOWN OR NOT SHOWN HEREON PERTAINING TO EASEMENTS, CLAIMS OF EASEMENTS, RIGHTS-OF-WAY, SETBACK LINES, OVERLAPS, BOUNDARY LINE DISPUTES, AGREEMENTS, RESERVATIONS OR OTHER SIMILAR MATTERS WHICH MAY APPEAR IN THE ABSTRACT OR SEARCH OF TITLE. THIS SURVEY NOT VALID UNLESS THIS PRINT IS EMBOSSED WITH THE SEAL OF THE ABOVE SIGNED.

This instrument prepared by:
Sabrina Bateh Kuruvilla, Attorney at Law
Three Oaks Law
13500 Sutton Park Drive South, Suite 601
Jacksonville, Florida 32224

Preparer has not examined the title to the property described herein; no warranty or other representation is made, and no opinion is expressed or implied as to the ownership of the property, the condition of its title, its quality, the location of its boundaries, or the existence of any liens, unpaid taxes or encumbrances affecting it.

Parcel Identification Number: 173169-0000

QUITCLAIM DEED

THIS QUITCLAIM DEED, executed on August 9, 2024, by **Kathleen R. Mills, a widowed woman** (hereinafter referred to as "Grantor"), whose mailing address **226 Florida Blvd., Apt 2, Neptune Beach, Florida 32266**, to **Kathleen Roche Mills and Stacey Mills, Trustees of the Kathleen Roche Mills Living Trust, dated August 9, 2024, and any amendments thereto** (hereinafter referred to as "Grantee") whose mailing address is **226 Florida Blvd. Neptune Beach, Florida 32266**.

WITNESSETH, that the said Grantor(s), for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) in hand paid by said Grantee(s), the receipt of which is hereby acknowledged, do hereby remise, release, convey and quit-claim unto the said Grantee(s) forever, all the right, title, interest, claim and demand which the said Grantor(s) have in the following described property located in the County of Duval, State of Florida, to-wit:

Lot Fourteen (14), Block Six (6), MERIMAR PLACE, UNIT #2, according to the plat recorded in Plat Book 15, page 18, of the Current Public Records of Duval County, Florida.

Commonly known as 228 Florida Blvd. Neptune Beach, Florida 32266

Full power and authority are conferred upon the Grantee(s), to protect, conserve, sell, convey, lease, grant and encumber all interests conveyed by this instrument, and otherwise to manage and dispose of those interests, it being the intent of the Grantor(s) to vest in the Trustee of the Trust full rights of ownership as authorized by Section 689.073 of the Florida Statutes

TO HAVE AND TO HOLD the same together with all singular appurtenances thereunto belonging in or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever for the said Grantor(s), either in law or equity, to the only proper use, benefit and behoove of the said Grantee(s) forever.

NOTE TO CLERK AND REVENUE DEPARTMENT: THIS DEED CONVEYS REAL PROPERTY TO THE TRUSTEE OF A TRUST WHICH IS REVOCABLE BY GRANTOR(S) AND IS NOT SUBJECT TO DOCUMENTARY STAMP TAX PURSUANT TO FLA. ADMIN CODE RULE 12B-4.013(28)(a) and (i).

IN WITNESS WHEREOF, the Grantor(s), by **Kathleen R. Mills, a widowed woman**, has caused this Quitclaim Deed to be executed on this August 9, 2024.

Signed in the presence of:

Hezrona Moxyz-Currie
Hezrona Moxyz-Currie, Witness
13500 Sutton Park Drive S., Suite 601
Jacksonville, Florida 32224

Kathleen R. Mills
Kathleen R. Mills, Grantor

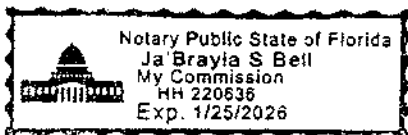
Mary Hartley
Mary Hartley, Witness
13500 Sutton Park Drive S., Suite 601
Jacksonville, Florida 32224

STATE OF FLORIDA

COUNTY OF DUVAL

The foregoing instrument was acknowledged before me on August 9, 2024 by **Kathleen R. Mills** by means of physical presence or online notarization [] who is personally known to me or [] who has produced a valid Florida driver's license as identification in the presence of the subscribing witnesses, **Hezrona Moxyz-Currie** by means of physical presence or online notarization who is personally known to me or [] who has produced a valid Florida driver's license as identification and **Mary Hartley** by means of physical presence or online notarization who is personally known to me or [] who has produced a valid Florida driver's license as identification.

SEAL



Ja'Brayla S. Bell
Ja'Brayla S. Bell, Notary Public—State of Florida
13500 Sutton Park Drive South, Suite 601
Jacksonville, FL 32224
My commission expires 01/25/2026
Notary registration no. HH220636

Subject Photos

228 Florida Blvd, Neptune Beach, FL 32266



Front Elevation



Rear Elevation



Side Elevations

Table 27-239

	R-1	R-2	R-3	R-4 ¹	R-5 ²	C-1	C-2	C-3	CBD ²	NC Overlay	RC Overlay
	Single-Family Residential			Single/ Two-Family Res.	Multi-Family ¹⁴	Commercial					Single/ Two-Family Res.
Building Height											
Max. Height ³	28'	28'	28'	28'	28'	35'	35'	35'	35'	35'	28'
Max. Stories	2	2	2	2	2	3	3	3	3	3	2
Density (dwelling units divided by gross site area in acres - du/a)											
Max. Density (du/a)	5	5	5	10	17	-	-	-	10	-	10
Setbacks											
Front Yard ⁴	25' min.	20' min.	15' min.	Flexible ⁵	30' min.	10' min. 25' max.	25' min.	15' min. 30' max.	0' min. 10' max. ⁶	5' min. 15' max.	10' min. 25' max.
Rear Yard	30' min.	25' min.	25' min.	Flexible ⁵	30' min.	10' min.	15' min.	20' min.	5' min.	10' min.	15' min.
Side Yard (Internal)	10' min.	10% of lot width (7' min.)	10% of lot width (7' min.)	7' min. ⁷	25' min.	5' min.	15' min.	5' min.	0' min.	0' min.	7' min. ⁷
Side Yard (Street)	15' min.	10' min.	10' min.	8' min.	25' min.	10' min. 25' max.	20' min.	10' min. 25' max.	5' min. 15' max.	10' min. 25' max.	8' min. 25' max.
Frontage Buildout											
Primary Street	-	-	-	-	-	70% min. ⁸		70% min.	70% min.	-	
Lot Dimensions/Size											
Min. Lot Area (SF.)	12,000	10,000	5,000	4,356	-	7,500	10,000	15,000	-	7,500	4,356 ¹⁰

Max. Lot Area (SF)	-	-	-	15,000	-	-	-	-	-	-	15,000
Min. Lot Width (FT)	100'	85'	50'	50'	200'	60'	80'	100'	-	50'	50' ¹¹
Max. Lot Coverage	50%	50%	50%	50%	35%	70%	70%	75%	85%	70%	50% ⁹
Additional											
Max. Building Floor Area (sq. ft.) ¹²	-	-	-	-	-	30,000	60,000	60,000	25,000	20,000	-

EXHIBIT A

- ¹ The minimum R-4 and RC Overlay lot dimensions in this table are superseded by the actual dimensions of smaller lots if those lots were lawfully platted and recorded prior to December 2, 2019, in the Office of the Clerk of the Circuit Court of Duval County, Florida.
- ² Any single/two-family homes or multifamily structures in CBD shall comply with the development standards for the RC overlay.
- ³ For lots in the R-1 zoning district that have a minimum lot size of twelve thousand (12,000) square feet and one hundred (100) feet lot width as measured at the building line parallel to the front face of the house and perpendicular to the primary side yard, thirty-five (35) feet of maximum building height will be permitted, so long as the primary roof structure is built at a minimum five-twelfths roof pitch, and not to exceed two (2) stories of living area.
- ⁴ More specific front yard setbacks shall apply in locating new structures around the following road segments: Penman Road, Seagate Avenue, and Florida Boulevard (See subsection 27-231(b).)
- ⁵ The front and rear yard setbacks may be flexible in that both measurements must total thirty-five (35) feet; however, neither can measure less than the fifteen (15) feet.
- ⁶ New developments built to the front lot line will need to be cleared by public works first to ensure there are no infrastructure conflicts. ⁷ Duplexes comprised of two attached homes shall be exempt from the interior side setback where the units meet.
- ⁸ Lots less than 120' wide may have a reduced minimum frontage buildout of 60% in order to accommodate side yard parking.
- ⁹ Additionally, 25% of the overall site, or half of the required pervious area, must be comprised of greenspace.
- ¹⁰ Min. lot area for duplexes shall be 8,500 square feet, or 4,356 square feet for each unit if divided into two fee simple lots.
- ¹¹ Min. lot width for duplexes that have been divided into two fee simple lots of 40' each prior to December 2, 2019 shall be deemed conforming.
- ¹² No standalone building shall exceed the maximum floor area shown. Additional information can be found in Section 27-237.
- ¹³ Lots bounded by more than two streets may elect no more than two primary streets. All other streets shall meet the setback and frontage requirements for secondary streets. In these unique cases there may not be a rear yard.
- ¹⁴ Multifamily residences on lots less than one-half acre shall only utilize a maximum of 70% lot coverage.

EXHIBIT A

Julianne N. Overby, R.A.
2452 Pullian Street
Jacksonville Beach, Florida
32550
904-704-8628
JNO@JNOVERBY.COM
FL AR-0017060 · FL ID-4621



BIRDSONG RESIDENCE
228 FLORIDA BLVD.
NEPTUNE BEACH, FL 32266

DATE ISSUED:
DECEMBER 23, 2025

NOTE:
DO NOT SCALE DRAWINGS.
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MEDIA, DRAWING SCALE
IS HALF-SIZED.

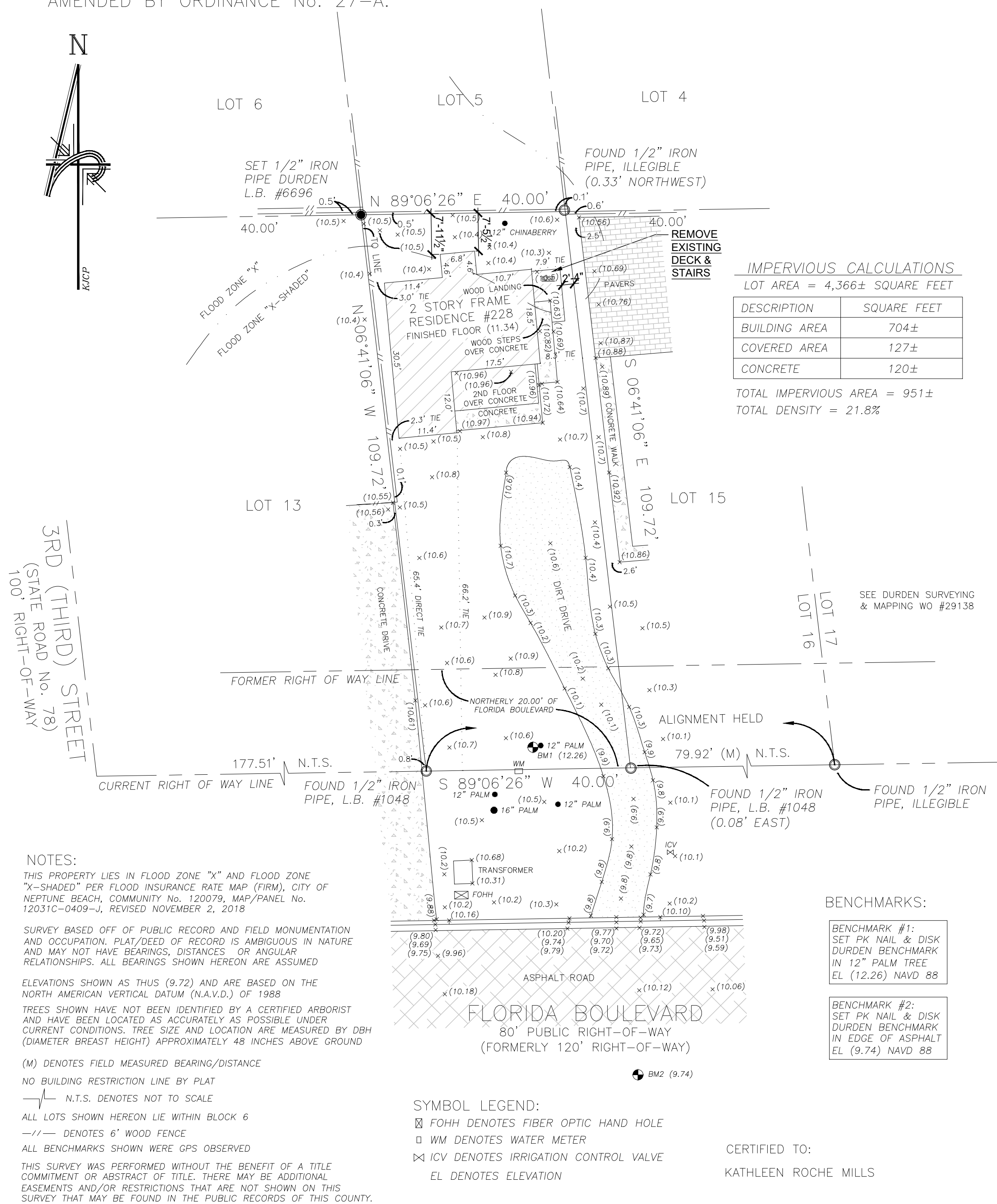
**ARCHITECTURAL
SITE
PLAN**

T1

PERMIT SET

MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF:

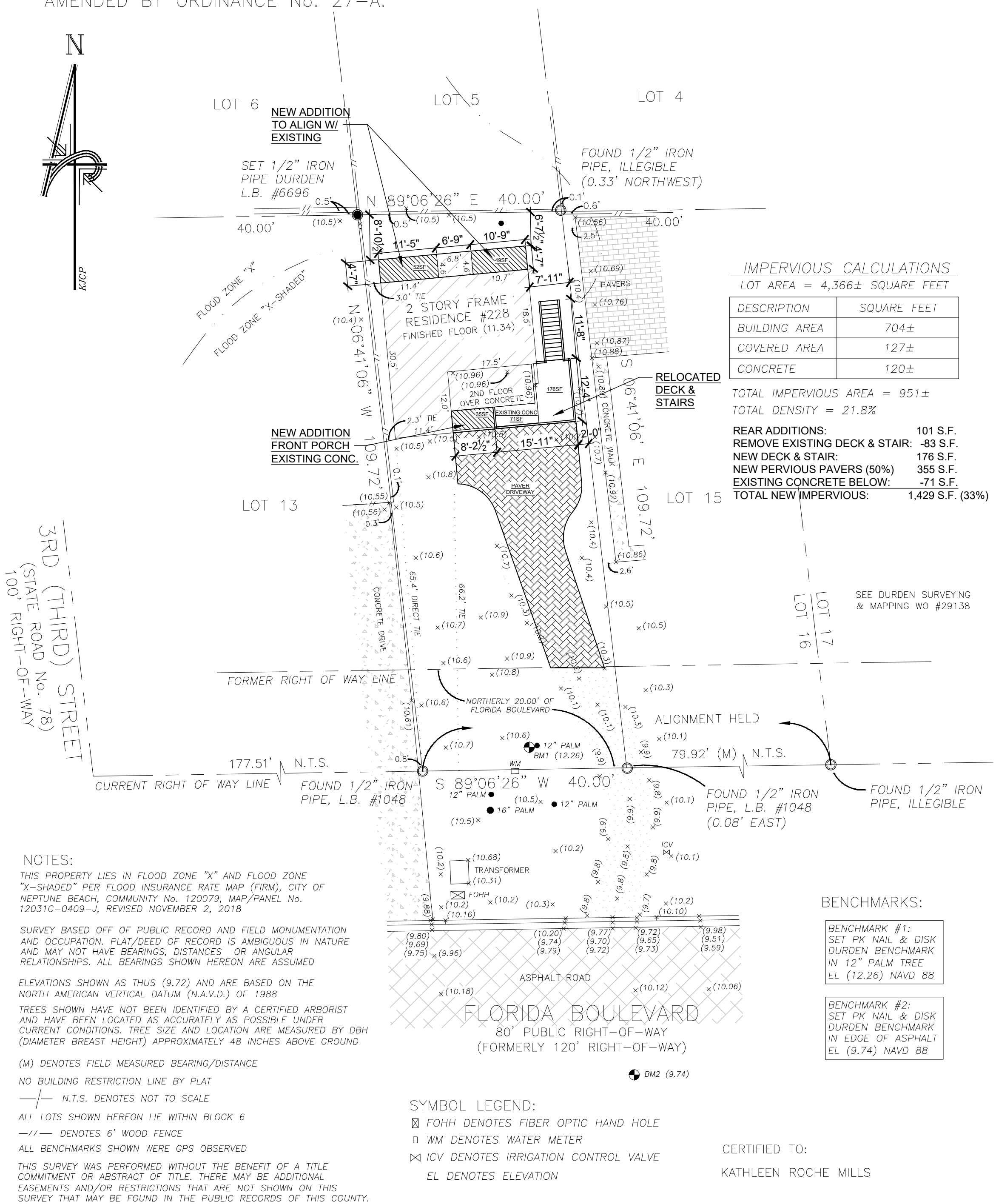
LOT 14, BLOCK 6, MERIMAR PLACE UNIT No. 2, AS RECORDED IN PLAT BOOK 15, PAGE 18. OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, TOGETHER WITH THE NORTHERLY 20.00 FEET OF FLORIDA BOULEVARD AS CLOSED BY ORDINANCE No. 10 AND AMENDED BY ORDINANCE No. 27-A.



EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"

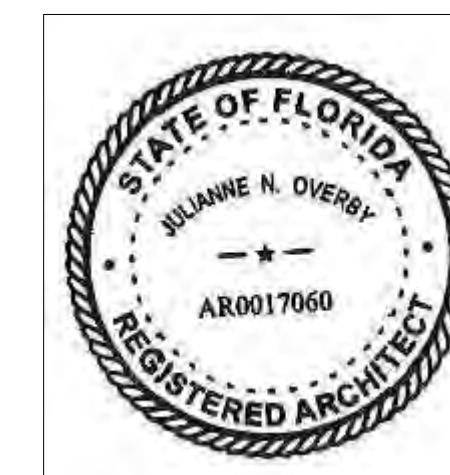
MAP SHOWING BOUNDARY, TOPOGRAPHIC & TREE SURVEY OF:

LOT 14, BLOCK 6, MERIMAR PLACE UNIT No. 2, AS RECORDED IN PLAT BOOK 15, PAGE 18. OF THE CURRENT PUBLIC RECORDS OF DUVAL COUNTY, FLORIDA, TOGETHER WITH THE NORTHERLY 20.00 FEET OF FLORIDA BOULEVARD AS CLOSED BY ORDINANCE No. 10 AND AMENDED BY ORDINANCE No. 27-A.



PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

Julianne N. Overby, R.A.
2452 Pullian Street
Jacksonville Beach, Florida
32550
904-704-8628
JNO@JNOVERBY.COM
FL. AR-0017060 · FL. ID-4621



BIRDSONG RESIDENCE
228 FLORIDA BLVD.
NEPTUNE BEACH, FL 32266

DATE ISSUED:
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**EXTERIOR
ELEVATIONS**

A2

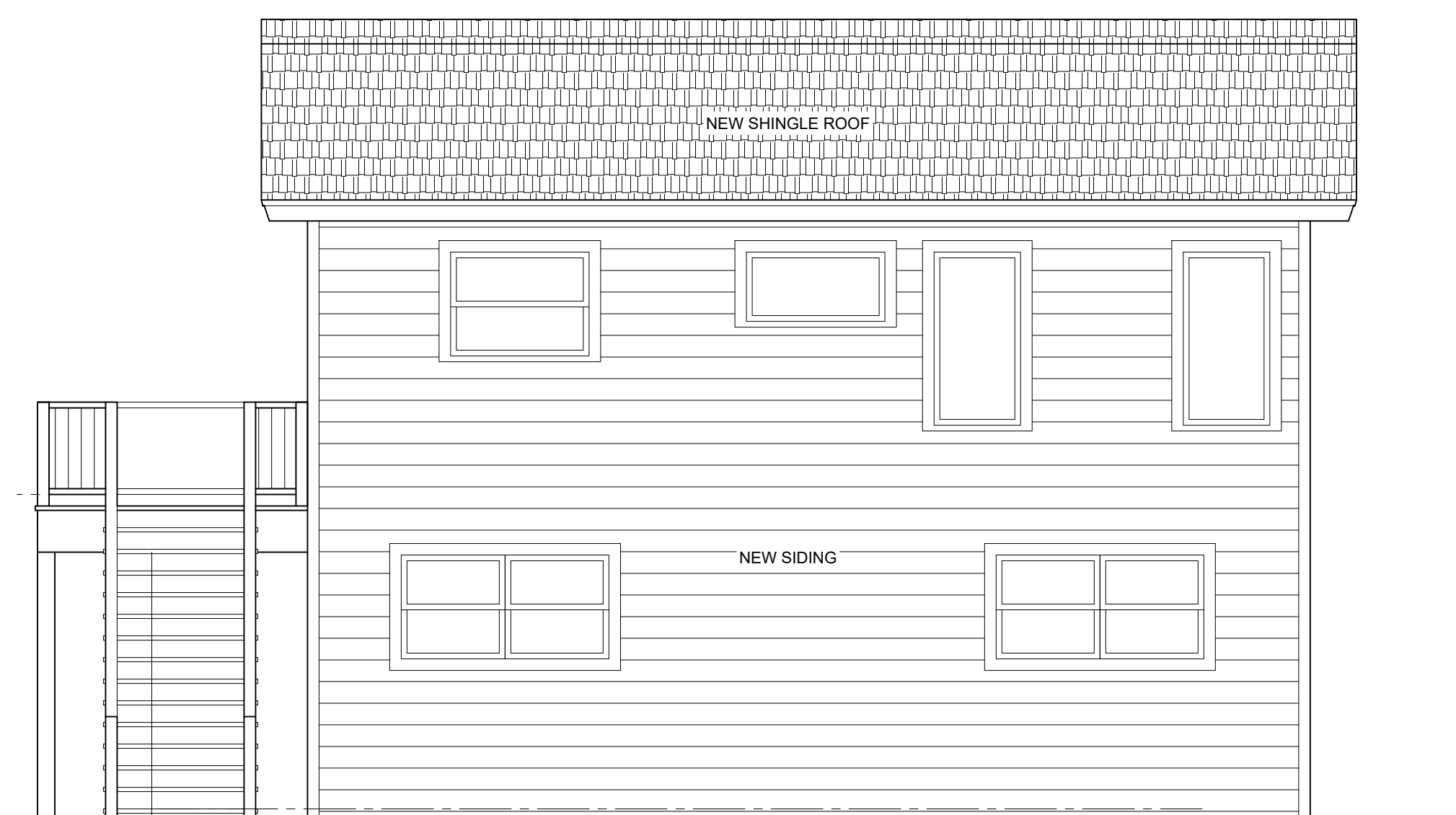
PERMIT SET



A
FRONT ELEVATION
A2 SCALE: 1/4" = 1'-0"



B
SIDE ELEVATION
A2 SCALE: 1/4" = 1'-0"



C
REAR ELEVATION
A2 SCALE: 1/4" = 1'-0"



D
SIDE ELEVATION
A2 SCALE: 1/4" = 1'-0"

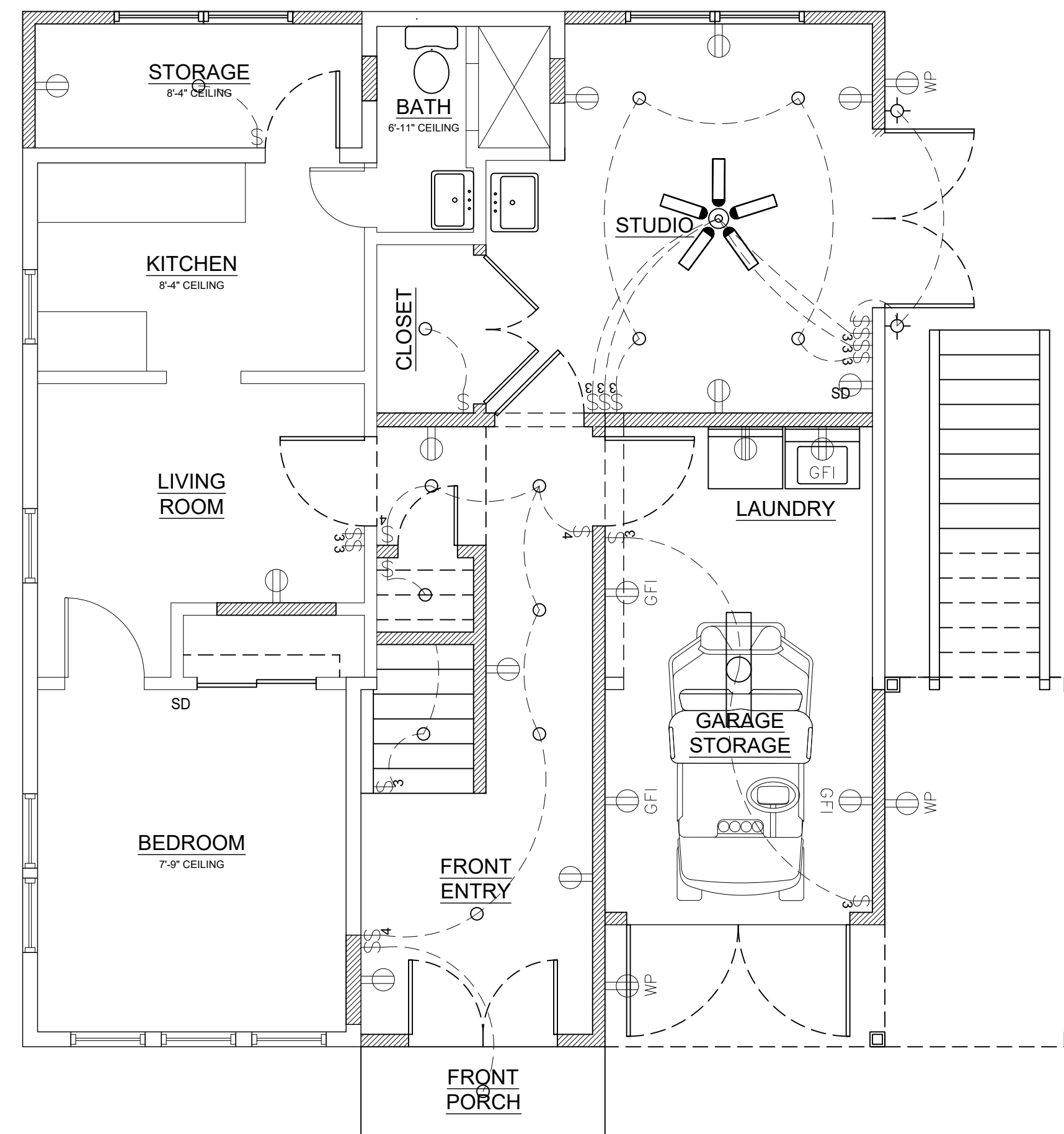
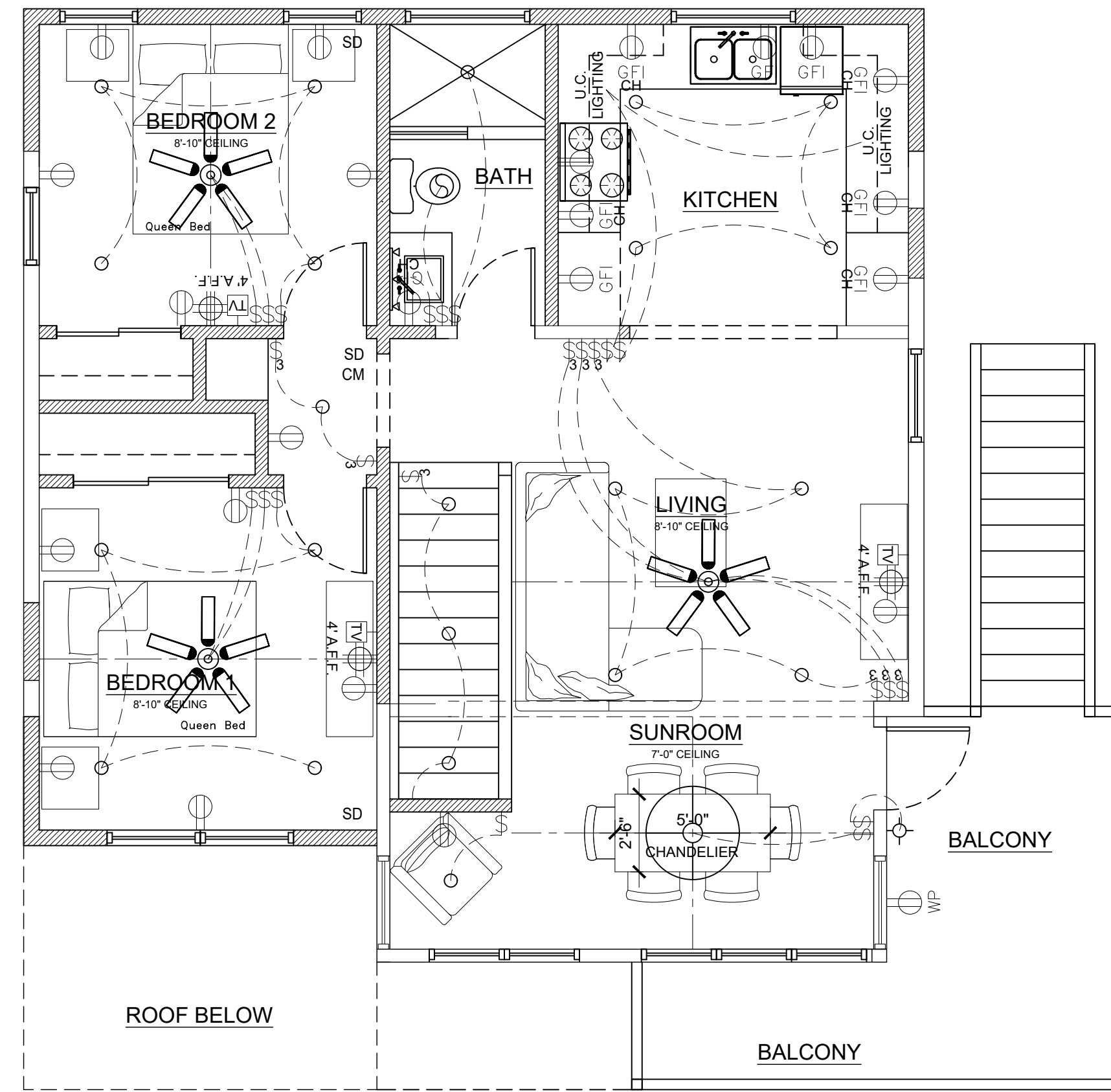
ELECTRICAL LAYOUT PLAN NOTES:

1. VERIFY ALL EXISTING CONDITIONS.
2. COORDINATE LIGHT FIXTURE LOCATIONS CONTRACTOR ANY DISCREPANCIES SHALL BE COMMUNICATED TO THE ARCHITECT BEFORE CONSTRUCTION PROCEEDS FOR COORDINATION.
3. LIGHT FIXTURES SHALL BE LOCATED AS CLOSELY AS POSSIBLE TO LOCATIONS SHOWN ON THIS PLAN.
4. FIXTURES SHALL ALIGN WITH OR CENTER ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENTS.
5. COORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLS SO THAT THEY ALIGN WITH OR ARE SYMMETRICAL WITH EACH OTHER WHERE THERE MAY BE CONFLICTS.
6. GRILLS & REGISTERS SHALL BE BLOCKED AS REQUIRED SO THAT THEY CAN ALIGN WITH LIGHT FIXTURES.
7. LIGHT FIXTURE & SWITCH LOCATIONS SHALL BE REVIEWED & APPROVED BY OWNER OR DESIGNER BEFORE INSTALLATION OF SHEET ROCK OR OTHER WALL & CEILING FINISHES.
8. SWITCHES SHALL BE LOCATED ADJACENT TO, BUT NOT INTERSECTING DOOR CASING OR TRIM.
9. GROUPED SWITCHES SHALL BE GANGED TIGHT TOGETHER & SHALL BE COVERED WITH A SINGLE PLATE DESIGNED FOR THAT PURPOSE.
10. SWITCHES SHALL TYPICALLY BE MOUNTED 48" A.F.F. TO CENTER OF THE SWITCH.
11. SUPPORT ALL FIXTURES FROM STRUCTURE OF BUILDING. REFER TO STRUCTURAL SHEETS FOR SPECIFIC DETAILS AS REQUIRED FOR SPECIALTY FIXTURES.
12. VERIFY DEVICE & PLATE COLORS WITH OWNER OR DESIGNER.
13. VERIFY LIGHTING TYPE & SWITCHING.
14. FLUORESCENT LAMPS SHALL BE "WARM WHITE DELUXE" UNLESS OTHERWISE NOTED OR SPECIFIED ON THE SCHEDULE.
15. ALL LIGHT BULBS SHALL BE COMPACT FLUORESCENT OR LED BULBS UNLESS OTHERWISE NOTED.
16. COORDINATE THERMOSTAT AND DOORBELL LOCATIONS WITH OWNER.

ELECTRICAL LEGEND			
	CABLE		
	DUPLEX OUTLET		
	220 OUTLET		
	GFI RECEPTACLE		
	EXTERIOR/GFI RECEPTACLE		
	SWITCH		
	3-WAY SWITCH		
	SMOKE DETECTOR	CM	CARBON MONOXIDE DETECTOR
	COUNTERTOP HEIGHT		

NOTES:

1. TELEPHONE OUTLETS TO BE 'CAT 5E' WIRE.
2. SMOKE DETECTION PER FIRE CODE.
3. SERVICE PANEL AND ELECTRIC METER LOCATION TO BE DETERMINED W/ INPUT FROM THE OWNER AND LOCAL UTILITY COMPANY.
4. ALL RECEPTACLE TO HAVE ARC-FAULT CIRCUIT INTERRUPTERS PER ARTICLE 210-12.
5. HVAC DISCONNECT TO BE PROVIDED BY MECHANICAL SUBCONTRACTOR.
6. ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH LATEST EDITION OF NEC AND FBC.
7. 100% OF ALL INTERIOR AND EXTERIOR PERMANENT LIGHT FIXTURES TO USE CFL/LED LAMPS.



JNOOverby, LLC
ARCHITECTURE · INTERIOR DESIGN

Julianne N. Overby, R.A.
2452 Pullian Street
Jacksonville Beach, Florida
32550
904-704-8628
JNO@JNOVERBY.COM
FL AR-0017060 · FL ID-4621



BIRDSONG RESIDENCE
228 FLORIDA BLVD.
NEPTUNE BEACH, FL 32266

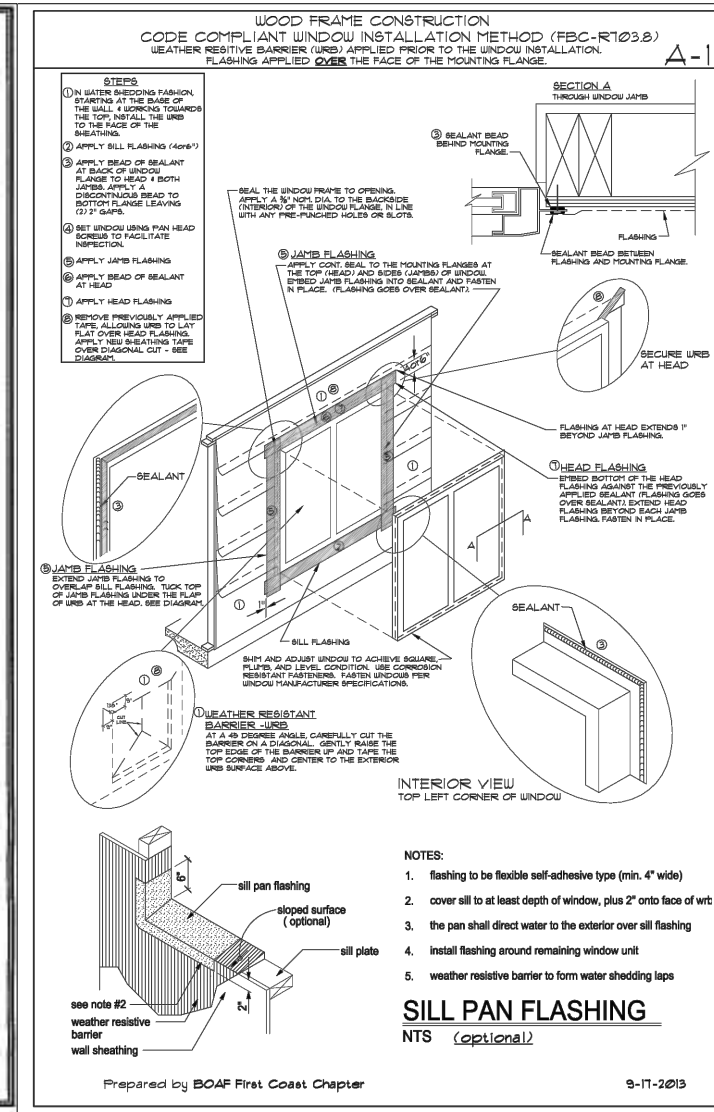
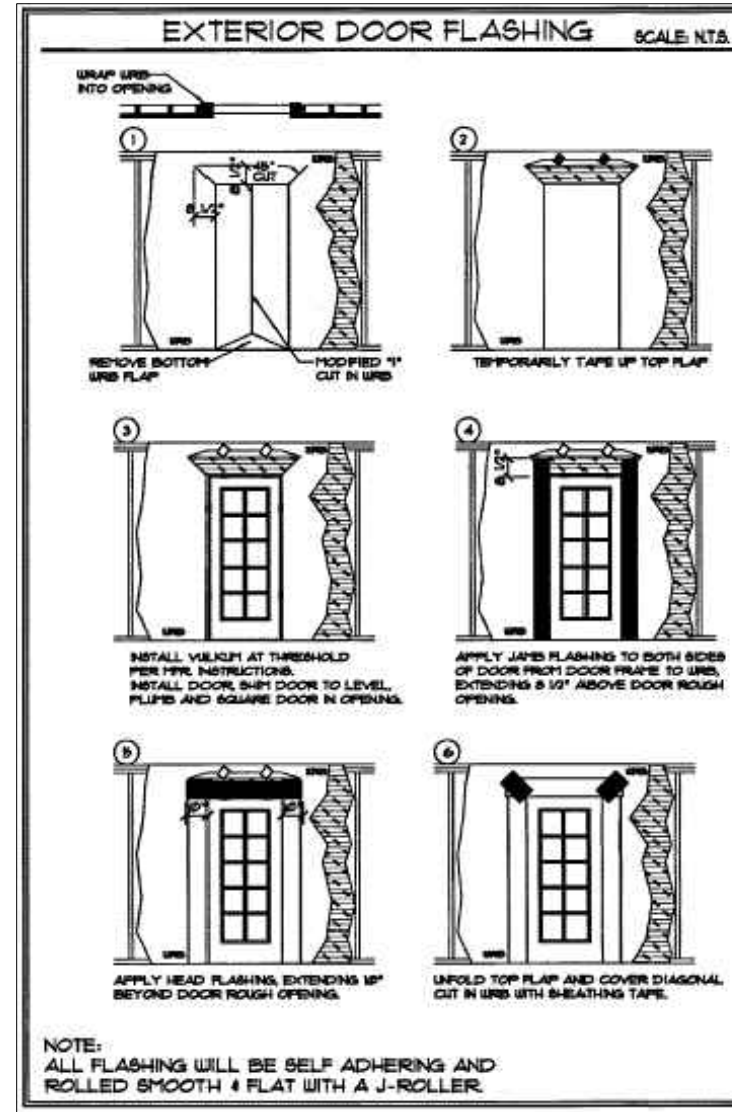
DATE ISSUED:
DECEMBER 23, 2025

NOTE:
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**ELECTRICAL
LAYOUT
PLANS**

A3

PERMIT SET



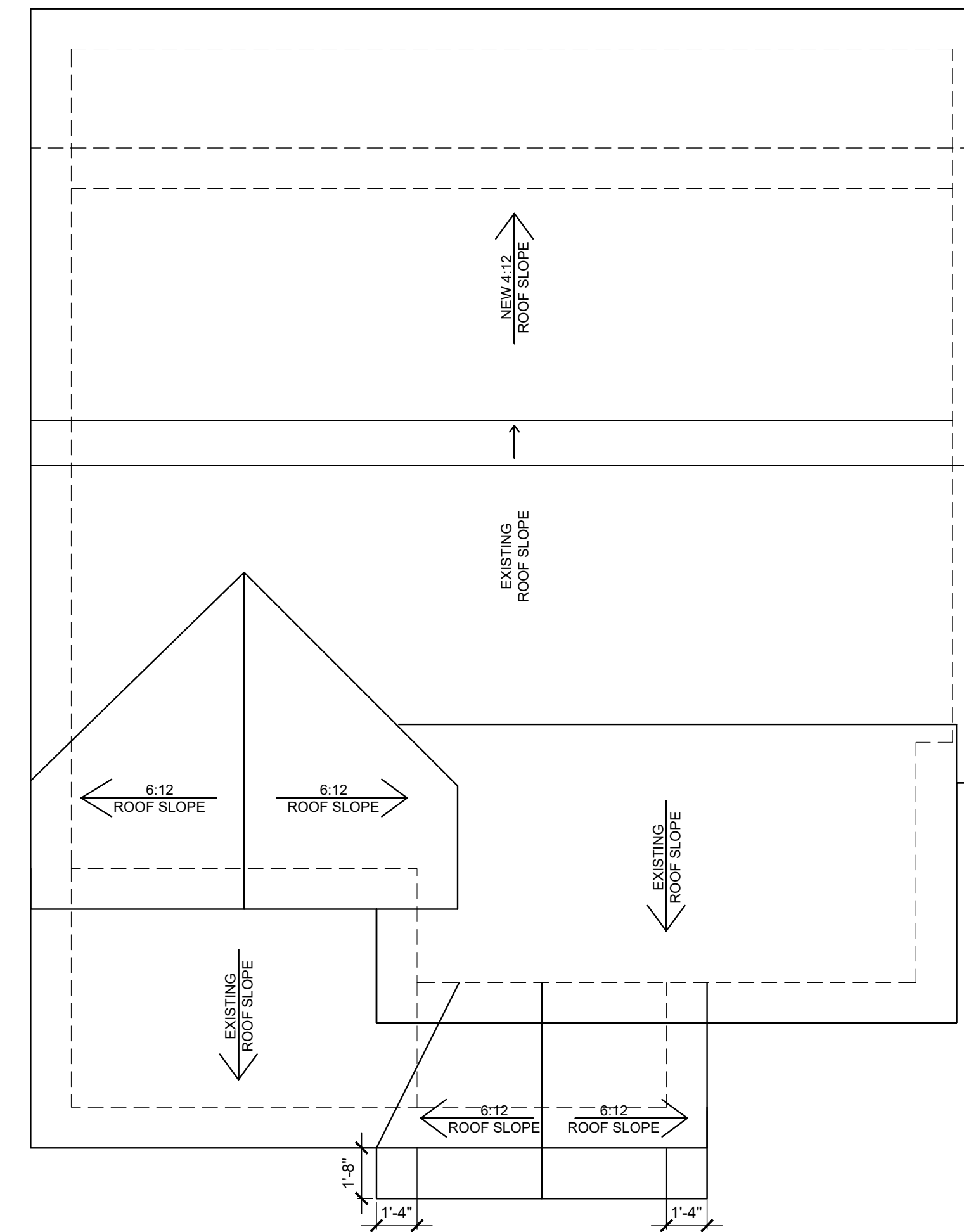
NOTE: THESE DETAILS USED FOR DOORS & WINDOW.
 ALL FLASHING TO MEET FBC R903.2.1, R905.2.8 & R703.8 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ROOF PLAN NOTES:

1. DO NOT SCALE DRAWINGS.
2. IF DIMENSIONS ARE IN QUESTION, THE ROOFER SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION
3. BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT JOBSITE.
4. SEE FLOOR PLAN FOR BUILDING DIMENSIONS.
5. ALL ROOFING AND ROOFING DETAILS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
6. ROOFING SUBCONTRACTOR SHALL HAVE APPROPRIATE LICENSE(S) AS REQUIRED IN JURISDICTION OF CONSTRUCTION.
7. NO WORK SHALL CONFLICT WITH THE MANUFACTURER'S GUARANTEE OR WARRANTY.
8. WRITTEN WARRANTY SHALL BE PROVIDED TO OWNER AND INCLUDED IN THE CLOSE OUT DOCUMENTS PROVIDED BY GC.
9. PROVIDE FLASHING AS PER DETAILS OR AS PER SMACNA IF NO DETAILS ARE SHOWN WHERE ROOF PITCH CHANGES OR WHERE ROOFING INTERSECTS WITH VERTICAL SURFACES.
10. THE INSTALLATION SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL ROOFING WORK .
11. ALL EXHAUST FAN, VENT, FLUE & STACK OPENINGS ARE TO BE CUT & SEALED BY BUILDER.
12. ROOF VENT TERMINALS SHALL BE 12' AWAY FROM AND 2' ABOVE ANY AIR INTAKE, DOOR OR WINDOW, 18" AWAY FROM ANY VERTICAL WALL EXTENDING ABOVE ROOF VENT, AND NOT BELOW ANY ROOF EAVE, OR AS REQUIRED BY LOCAL CODES.

ROOF VENTS/PENETRATIONS:

ALL RIDGE VENTS AND PENETRATIONS TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS-
 APPLY ROOFING CEMENT OR SELF ADHERING FLASHING OVER VENT FLANGE AT THE HEAD
 INSTALL SHINGLE OVER THE VENT FLANGE HEAD



ROOF PLAN
 SCALE: 1/4" = 1'-0"

Julianne N. Overby, R.A.
 2452 Pullian Street
 Jacksonville Beach, Florida
 32550
 904-704-8628
 JNO@JNOVERBY.COM
 FL AR-0017060 · FL ID-4621



BIRDSONG RESIDENCE
 228 FLORIDA BLVD.
 NEPTUNE BEACH, FL 32266

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**ROOF
 PLAN
 AND
 DETAILS**

A5

PERMIT SET

Exhibit: Exterior Materials (Narrative)

Overview and Intent: The proposed exterior material strategy for the subject residence remains consistent with a modest coastal cottage originally constructed in the 1930s. The intent of the proposed materials is historical compatibility rather than historical reconstruction, recognizing that certain existing exterior finishes are non-historic alterations and that definitive documentation of original siding materials has not been identified.

The overall goal is to remove non-historic materials (i.e. existing vinyl siding) and replace them with exterior finishes that are consistent in scale, texture, and character with small coastal residences and practical adaptations found in Neptune Beach and the surrounding region during the 1930s.

Existing Conditions: The residence is currently clad in vinyl siding, which is a later, non-historic alteration and is not representative of original construction materials from the 1930s. As such, the existing vinyl siding is not considered a character-defining feature of the structure. Other materials, non-historic in nature, may have been added over past decades and proposed alterations will give consideration to subject time period of construction.

Proposed Exterior Material Strategy

Lower Level / Ground-Contact Walls

Primary Intent:

- Painted brick to provide a visually grounded base
- Soft white, cream, or light paint finish
- Simple masonry application

Upper Level Walls

Primary Intent:

- Wood or wood look composite Shake or shingle-style siding, or equivalent
- Modest exposure and tight scale
- A combination of shingle and lap siding may be used across elevations as needed

Material Transitions and Detailing

Simple horizontal trim is proposed between lower- and upper-level materials to clearly articulate the transition and avoid contemporary detailing. Trim profiles and detailing are intended to remain restrained and modest.

Conclusion

The proposed exterior materials remove non-historic alterations and introduce a cohesive, historically compatible material strategy appropriate to the age, scale, and coastal context of the residence. Reasonable flexibility is maintained to allow refinement throughout process.

Exhibit – Exterior Materials Matrix

Building Element	Primary Proposed Material	Acceptable Alternatives	Historic Compatibility Rationale
Lower Level Walls	Painted Brick	Painted Stucco or Alternate Masonry	Visually grounded base typical of utilitarian coastal construction
Upper Level Walls	Wood or wood look composite Shake / Shingle Siding	Horizontal Lap Siding	Lightweight residential material common to early coastal cottages
Windows	White Double-Hung, Vertical Proportion	White Casement (Secondary Elevations)	Maintains traditional scale and rhythm
Doors	Painted Wood Panel Doors	Half-Lite Wood Doors	Period-appropriate residential character
Garage Doors	Maintain design of existing doors	Wood or wood cladding/ wood look	Visually consistent with current garage door
Stairs & Railings	Painted Wood Construction	Simplified Aluminum Railings	Modest, utilitarian coastal detailing

Exhibit: Interior Scope (Narrative)

Overview and Intent: The proposed interior scope of work for the subject residence. Interior improvements are intended to preserve and highlight existing character-defining features where present, while allowing sensitive updates necessary for continued residential use. The proposed interior makes an effort to retain architectural character of the structure, while allowing continued use for many years to come.

Existing Interior Character:

The interior of the residence retains several features that contribute to its historic character, including original or early wood flooring, tongue-and-groove wall finishes, and distinctive interior partition elements. These features reflect the modest and utilitarian nature of early coastal residential construction.

Proposed Interior Scope

Wood Floors

Existing wood floors are proposed to be refinished and repaired where necessary. New flooring, if required in limited areas, will be selected to remain consistent, where practicable.

Wall Finishes

Existing tongue-and-groove wall finishes will be retained and preserved wherever feasible. Where removal is necessary for proposed additions, configuration, or upgrades, new finishes will be applied in a manner that maintains visual continuity with the original material(s).

Doors

Existing bedroom doors in the upstairs unit are proposed to be retained, preserving the historic nature of these existing elements.

Downstairs/1st Floor

The downstairs/1st Floor is proposed to receive a refresh focused on finishes and systems rather than reconfiguration. Existing interior wall dividers separating the kitchen from the adjacent room will be retained, recognizing their unique character and contribution to the interior layout.

Conclusion

The proposed interior work prioritizes retention of existing character-defining features where present, while allowing updates and reconfiguration to allow long-term residential use for years to come. Interior improvements are designed to honor the historic character of the structure.

Exhibit – Interior Scope & Materials Matrix

Interior Element	Primary Proposed Material	Acceptable Alternatives	Historic Compatibility Rationale
Wood Flooring	Refinish existing wood floors; new flooring where required	Selective replacement with closely matching wood or consistent material selection	Retains original materials and visual continuity
Wall Finishes	Retain tongue-and-groove walls where feasible	Repair or replace with compatible materials when necessary	Preserves historic texture and interior character
Upstairs Bedroom Doors	Retain both existing bedroom doors	Repair or refinish as needed	Maintains original aesthetic
Downstairs Unit Layout	Refresh finishes; retain existing wall dividers	Minor adjustments limited to systems and finishes	Recognizes evolved yet characterful interior configuration