



AGENDA
COMMUNITY DEVELOPMENT BOARD MEETING
April 8, 2026 AT 6:00 PM
116 FIRST STREET
NEPTUNE BEACH, FL 32266

1. **Call to Order and Roll Call**
2. **Pledge of Allegiance**
3. **Approval of March 11, 2026 CDB Minutes**
4. **DP26-03:** Application for Open-Air Markets as outlined in Chapter 17 Sale Article III. "Temporary Open-Air Sales and Markets" of Neptune Beach for Here Tomorrow's 2nd Annual ECHO Fair at Jarboe Park, Neptune Beach, Florida. The applicant requests a permit to hold an open-air market at Jarboe Park on August 22, 2026.
5. **V26-03:** Application for variance as outlined in Chapter 27 Article III Division 8 of the Unified Land Development Code of Neptune Beach for Fifth Third Bank/BDG Architects for the property currently known 626 Atlantic Blvd (RE# 172398-0100). The applicant requests a variance from table 27-239 C-3 frontage buildout to permit a 30% building frontage in lieu of the required 70% building frontage. The property is in the C-3 zoning district.
6. **SE26-01:** Application for art project as outlined in Chapter 27 Article XV Section 27-596 of the Unified Land Development Code of Neptune Beach for Fifth Third Bank/BDG Architects for the property currently known 626 Atlantic Blvd (RE# 172398-0100). The applicant requests approval for mural. The property is in the C-3 zoning district.
7. **DP26-04:** Application for Preliminary Development Plan as outlined in Chapter 27 Article III Division 2 of the Unified Land Development Code of Neptune Beach for Fifth Third Bank/BDG Architects for the property currently known 626 Atlantic Blvd (RE# 172398-0100). The applicant requests to establish a 1,978 square foot bank The property is in the C-3 zoning district.
8. **Code Discussion:** Sec. 27-330. - Fences, walls and hedges ordinance update
9. **Subcommittee Reports**
10. **Open Discussion**
11. **Adjourn**



COMMUNITY DEVELOPMENT BOARD
March 11, 2026 6:00 P.M.
COUNCIL CHAMBERS
116 First Street
Neptune Beach, Florida 32266

Pursuant to proper notice a public hearing of the Community Development Board for the City of Neptune Beach was held in person on Wednesday March 11, 2026 at 6:00 p.m. in the Council Chambers.

Attendance Board members were in attendance:

Rene Atayan, Vice Chair
Charley Miller, Member
William Hilton, Member
Hillary Weatherhead, Member
Kathy Lahr-David, Member
Tony Mazzola, Member
Lynda Padrta, Member

The following staff members were present:

Heather Whitmore, AICP, PTP, Community Development Director
Paul Waters, City Attorney
Blake West, Arborist / Project Manager
Dallas Alvarez, Administrative Assistant
Catherine Ponson, City Clerk

Call to Order & Roll Call Vice Chair, Rene Atayan called the meeting to order at 6 p.m.

Pledge Pledge of Allegiance

Minutes Approval of Minutes for January 14, 2026 meeting.

Made by Hilton, seconded by Padrta.

MOTION: **TO APPROVE JANUARY 14, 2026 MINUTES, AS SUBMITTED.**

Roll Call Vote:

Ayes: Miller, Hilton, Weatherhead, Atayan, Lahr-David, Mazzola, Padrta

Noes: 0

MOTION CARRIED

Ex Parte None
Communication

Swearing In City Attorney Paul Waters asked anyone appearing before the board to be sworn in.

DP26-02 Heritage Tree Removal as outlined in Chapter 27 Section 27-448. "Champion and heritage trees" Unified Land Development Code of Neptune Beach for Brian Nicolas for the property 424 Driftwood Rd, Neptune Beach, Florida (RE Parcels 17855-0000). The applicant requests to remove a 29" Diameter at Breast Height Heritage Magnolia in order to build a single family home. The property is in the R-2 zoning district.

BACKGROUND

The applicant requests a Heritage Tree Removal as outlined in Chapter 27 Section 27-448. "Champion and heritage trees" Unified Land Development Code of Neptune Beach for Brian Nicolas for the property 424 Driftwood Rd, Neptune Beach, Florida (RE Parcels 178855-0000).

DISCUSSION

The applicant requests to remove a 30" Diameter at Breast Height Heritage Magnolia in order to build a single family home. Neptune Beach LDC identifies Southern Magnolia trees 20" or greater as Heritage Trees.

The 30" Magnolia is one of several trees the applicant seeks to remove to build a home. It is the only heritage tree. *Heritage tree* is defined by the Neptune Beach LDC as *any tree that because of its age, size, type, historical association, or horticultural value is of special importance to the city.*

LDC ARTICLE IX. - Tree Protection and Landscaping (as attached) Section 27-448 (d) states "The removal, relocation or replacement of any champion or heritage trees shall be by community development board approval. The city council will approve the removal, relocation or replacement of any heritage or champion tree when such removal, relocation or replacement is proposed as part of the subdivision approval process."

In August 2025, the applicant demolished a +/- 1,600 SF home on the subject lot. The applicant now requests to remove the 30" Heritage Magnolia to build a 3,500 SF. Sec. 27-448 states "Champion and heritage trees states "Champion and heritage trees shall be considered regulated trees in all areas of the city, and their removal shall be strongly discouraged.

The Neptune Beach Comprehensive Plan states, "Future development and redevelopment shall preserve the residential character of the City by 1) retaining the primarily residential character of Neptune Beach, 2) coordinating densities on

Policy A.1.1.3 states “The City shall continue to enforce its tree protection, landscaping, and buffering regulations as well as to protect its right-of-way.”

The Neptune Beach Comprehensive Plan states the City shall protect, conserve, and enhance natural features and any other environmental resources including wetlands, wildlife habitats, estuarine systems, and surface groundwater resources. Policy A.1.1.3 requires the City to “Protect the City’s existing tree canopy and implement a street tree program that encourages homeowners and businesses to plant more shade trees by committing to maintaining the trees once they are planted.”

I. CONCLUSION:

The requested tree removal is not consistent with the City's Land Development Code or Comprehensive Plan.

The home can be placed in an alternative location to avoid the tree. The tree removal is not necessary to allow the reasonable use of the parcel of land. The effect of the tree removal is not in harmony with the general intent of the ULDC and the specific intent of the relevant subject area(s) of the ULDC.

The 30" Heritage Magnolia is a unique and peculiar circumstance to this property, which creates an exceptional and unique hardship that is not shared by other property owners in the same zoning district.

Staff recommends the applicant seek a variance on the front, side, or rear setback to allow the same or similar building footprint area. Staff recommends denial of the remove a 30" Diameter at Breast Height Heritage Magnolia.

The City Arborist Blake West recommends denial of the 30" Diameter at Breast Height Heritage Magnolia, as stated in the attached letter. Staff further recommends that should this tree be removed or damaged for any reason, the applicant shall pay a sum equal to two times one hundred eighty-five dollars (\$185.00) per caliper inch in accordance with *Section 27-452 Unauthorized removal of or damage to regulated trees*, which stated "If a ... heritage or champion trees as defined in section 27-448, is removed without permit, or is altered or damaged such that the likelihood for disease or premature death is increased, the tree removal contractor and/or property owner shall pay a fine of twice the tree fund fee, as established in section 27-458 per diameter inch of the trunk, measured at four and one-half (4½) feet above the ground."

Applicant Brian Nicholas (179 San Juan Dr. Ponte Vedra) introduced himself and gave a quick history of himself and family. He told the board about his purchase of 424 Driftwood and the dilapidated state it was in. He explained that he wanted to be closer to his daughter and grandchildren who live in the same neighborhood. Brian went on to say that he had run through every scenario for a way he could keep the magnolia tree but due to its proximity that it was impossible. He believed his request to remove the tree to build a single-story home is a reasonable one. When Mr. Nicholas submitted his building plan back in November it didn't go through because of the trees. Tonight was the first time he had heard anything about a denial or modification of the home.

Brian Nicholas presented a Power-point presentation and explained the conditions of property, home and trees. He went into detail about the magnolia tree and its proximity on the property. Mr. Nicholas shared the information he had on the root zone and how it would be impossible to build a single-story, single-family dwelling on the lot without removing this tree. He explained

that at his age he didn't want a two-story home and recapped that his family lived in the same neighborhood.

Caroline Knight (508 Driftwood) introduced herself as the daughter of Brian Nicholas and gave a brief history of her life at the beaches. She gave examples of the problems and general disarray of the house at 424 Driftwood. She said that she is saddened by some of the monstrosities that are being built in the area. She told the board that she wanted to portray that this will be a family home in a neighborhood where people really care.

Heather Whitmore clarified that she wants everyone to have their house and doesn't want to deny someone the ability to have their house. The role of staff is to speak for the code and justice of the tree. She went on to say that unfortunately any home built on the property would likely be in the critical root zone.

Arborist / Project Manager, Blake West recognized that the tree is a major obstacle. He acknowledged the applicant for being good with his permits. He stated that in his position he is tasked with speaking for the trees and feels no amount of mitigation can replace it. Blake stated that it is best to keep with the code and keep the tree and goes on to share about the tree facilitating migratory birds.

Attorney Paul Waters asked about possible alternatives.

Heather Whitmore suggested a variance and moving the house. She explained that regardless the root zone will be challenged.

Blake West answered that the critical root zone extends out approximately 30 ft.

Rene Atayan asked about compaction.

Blake West answered that about 80% of damage is done on the first pass.

William Hilton asked for clarification on Home Rule. What are the applicant rights?

Blake West answered that an arborist can make a TRAQ report if the tree were damaged and it could come down.

Heather Whitmore further explained that the reason this issue has come before the board is because this tree is a heritage tree and it is healthy.

Charley Miller wanted to know what the average life span of this type of tree.

Blake West answered between 100-120 years but there isn't any hard science due to most being cut down.

Kathy Lahr-David asked about planting additional trees to replace the one that is being taken down.

Heather Whitmore explained that there is a two for one planting rule and it's double for heritage trees. She stated that it is virtually impossible to plant your way out of this scenario.

Tony Mazzola had questions about the front yard setback and wanted to know what size house could be built and not be in the root zone.

Heather Whitmore answered that the home footprint that is proposed right now would not fit.

Lynda Padrta asked Blake West if he felt like the demo work that had been done on the property could have impacted the tree root system already.

Blake West responded that he wasn't there to see the work done but probably not.

Rene Atayan asked the applicant about the home demo and possible damage to the tree.

Applicant Brian Nicholas explained the demo process that took place and how the excavator did not deviate from the footprint of the home during the tear down.

Attorney Paul Waters asked if anyone else from the public wanted to speak and no one responded.

Caroline Knight (508 Driftwood) highlighted her love for her community and how environmentally conscious they are. She went on to say that she appreciates Blake West advocating for the birds and preserving their space.

Rene Atayan appreciated Ms. Knight's comments and believed that all intent is important and went on to say that decisions made by the board are going to outlive all of us and they must be deliberate with all decisions made because they will persist for generations. She spoke of the code and code re-write. She said the time spent on the tree portion was intensive. Rene shared a story about a resident whose contractor incurred very substantial fees for trees that were taken down without a permit. Rene Atayan then asked Blake West what native trees he would recommend if the magnolia tree were to be cut down.

Blake West recommended a holly tree because it produces berries and is good for migratory birds but said the oak trees are the keystone species of tree for birds.

William Hilton asked staff and council if the applicant would have to pay per caliber inch for the tree if the tree is removed.

Heather Whitmore responded that it is up to the board.

Paul Waters told the board that they can approve, deny or approve with conditions.

Heather Whitmore explained that if they were to go with the planting scenario that the total caliber of tree would need to be determined, where trees would be planted and species would need to be considered.

William Hilton talked about tree replacement code 27.447 and said it seemed reasonable. He said he may approve removing the tree, paying the highest fee and requiring at least two 4 inch caliber shade or ornamental trees on property or city right of way.

Heather Whitmore specified that per standard code she requires every lot have one shade tree per 5000 sq ft. This lot would require 2-3 trees.

Rene Atayan stated that the overall goal is to do what's best for the neighborhood and community.

Brian Nicholas explained the lot size and how the heritage magnolia tree sits in the middle of the property. His home building options are limited to keep out of the 30 ft radius of the tree.

Tony Mazzola was disappointed that the applicant hadn't met with an architect to see if something could be built on the property that would allow the tree to stay.

Rene Atayan continued the applicant's explanation of the tree location with proximity to the lot lines.

Heather Whitmore confirmed that it's impossible to build the home with its current footprint on the property and not disturb the tree. It is possible to build on the lot but it would need to be a much smaller house.

William Hilton questioned council and staff about the variance test. The variance that would come before the board would be bound by the test. How would that work since the applicant demo'd the house before the heritage tree was discovered?

Heather Whitmore stated that the code does not provide guidance for evaluating heritage trees. She reminded the room that the board has treated heritage trees as hardships in the past.

Charlie Miller asked if it was possible to table this matter and go back to the architect to get feasibility of same square footage house fitting on this lot. He then asked about trees being planted somewhere else other than city rights-of-way, such as parks.

Heather Whitmore answered yes, the trees can be planted somewhere other than applicants' property which code provides options for the board to make that decision. The code is not specific that it must be city owned but it's implied.

William Hilton said everyone wants to save the tree and the applicant has done everything to follow the right procedure by coming to the board. He felt that the board had the ability to grant or deny this application with conditions. Mr. Hilton suggested paying double the rate and adding 2 or 4 additional trees than what is required by code.

Rene Atayan asked the applicant if he would be willing to work with an arborist to replant trees.

Brian Nicholas asked what the requirement would be if tree wasn't a heritage tree in the middle of the lot.

Rene Atayan answered that the city of Neptune Beach respects its property owners and property rights. She followed by explaining that we have a code for a reason such as your lot and this tree which requires you to get a variance of some sort. The code specifically protects heritage trees. Brian Nicholas asked what his requirements would be to receive a variance. He stated that he applied for his building permit in November and it was denied because they needed a tree survey. He went on to talk about the magnolia tree noted in the tree survey and his timeline to start building. He said he was taken back that he couldn't build his single-family home and doesn't know mitigating facts.

William Hilton told the applicant that often people will bring in experts such as architects or arborists to help the applicant with their case.

Rene Atayan explained that they cannot be cavalier about decisions that are made nor can they open the city to litigation by not following process and procedure and adhering to the code.

Hillary Weatherhead said that there may be some ways to build a smaller footprint or different shape home but stay in setbacks and she acknowledged that the applicant would incur more expenses.

William Hilton followed by saying that after hearing the testimony from the applicant and Blake West that there is a strong possibility that the root system will be damaged in some way with the new construction which would make another bad situation to have to remove a big tree around the house. He explained that they could make a move to approve the removal of the tree with conditions for the applicant or table the motion.

Charley Miller asked if staff were available to put the conditions into writing that same night.

William Hilton responded by reading through the code as a guide and asked about tree species.

Rene Atayan read through some options and sizes for tree replacement.

Applicant Brian Nicholas asked if the motion got tabled would that mean that it will take another month before a decision is made about building a single-family residence in the neighborhood.

William Hilton asked staff if people pay or replace the tree.

Heather Whitmore answered that code offers a combination of the two options but generally people pay because it's easier to pay their way out versus planting their way out.

William Hilton suggested that they offer the applicant the option to pay the tree mitigation fee along with replanting.

Rene Atayan said she would need the property owner to pay the fee and accept the arborist recommendations on tree additions, placement, size and species.

Paul Waters suggested putting in a penalty clause and time limit into agreement.

Heather Whitmore said that she can't give permits on a promise and a whim. The condition of getting the building permit would be to pay the mitigation fee and adhere to a tree planting plan.

William Hilton suggested two times \$185 per caliber inch plus two 4" caliver tree w/ 8 ft height.

Heather Whitmore told them that they would need an approved tree planting plan.

Rene Atayan agreed with William Hilton and would ask for a well thought out professionally drawn-out plan as well as a penalty condition.

Lynda Padrta was amenable to that and pointed out 9 other trees that will be removed and considered when deciding what should be planted.

Rene Atayan said that all the trees and canopy will be removed from the property.

Blake West informed the board that clear cutting property is prohibited by code and a \$5000 fine.

Heather Whitmore responded that some of the trees are sick, dead or dying and most are not protected. She simplified for the board the breakdown in protected verses none protected trees as well as the sick trees.

Tony Mazzola said he wasn't sold on the idea but that he could live with it.

Kathy Lahr-David expressed that she didn't see any other option for the applicant and she's on board with adding new trees.

Rene Atayan told the applicant that he may or may not ask his architect to come up with other plans after the fines are added and he may have to compromise.

Brian Nicholas reiterated he didn't want to keep incurring more costs with architects and arborists and asked how to move forward and what the parameters are.

Rene Atayan answered that the motion will give the applicant clarity and will be methodical. She pointed out William Hilton, Attorney Paul Waters, Arborist Blake West and Community Development Director Heather Whitmore and explained that they would come up with the motion.

Attorney Paul Waters recommended five minutes for William Hilton, Heather Whitmore, Blake West and himself to work on a motion to propose to board members.

Rene Atayan called for a brief recess and reconvened meeting at 8:01pm

William Hilton motioned to allow the removal of the magnolia tree based on the following conditions. The applicant must pay two times \$185 per caliber inch in accordance with section 27.452. In addition to what's required by the building permit, applicant must plant four 4" caliber trees recommended by city arborist or some other approved alternative designation of those four as approved by the city arborist. Applicant must pay the fee and the planting plan must be done when applying for the building permit. The plantings must be on the applicant's property unless approved otherwise by the city arborist. The plantings must be done before the certificate of occupancy is issued. The certificate of occupancy will only be given once all requirements are met.

William Hilton then asked the applicant if that was clear and worked for him.

Applicant Brian Nicholas answered yes and very clear.

MOTION: TO APPROVE DP26-02 MOTION AS STATED

The board approved the removal of the heritage tree with the following conditions:

- 1) \$370 per caliper inch tree mitigation which is \$11,100 for a 30" tree, to be paid prior to building permit issuance

- 2) Plant onsite shade trees as required by the Land Development Code, which is three 4" shade trees, with building permit issuance
- 3) Plant an additional four 4" shade trees (onsite or offsite shade trees) to the satisfaction of the City Arborist, with building permit issuance
- 4) All trees must be planted prior to Certificate of Occupancy
- 5) Certificate of Occupancy only issued upon the satisfactions of all conditions

Made by Hilton, seconded by Weatherhead.

Roll Call Vote:

Ayes: Miller, Hilton, Weatherhead, Atayan, Lahr-David, Padrta

Noes: Mazzola

MOTION CARRIED

Sub

Committee

Rene Atayan reported on the historical preservation board getting their first application last month and saving the first house from 1937. She said they are getting a lot more interest and she's glad to see the residents using the board as a tool.

Open

Discussion

Heather Whitmore informed the board about updating their tags for the new parking system.

Adjourn

8:09pm

CITY OF NEPTUNE BEACH – COMMUNITY DEVELOPMENT DEPARTMENT



STAFF REPORT

MEETING DATE: April 8, 2026
BOARD/COMMITTEE: Community Development Board
APPLICATION NUMBER: DP26-03

TO: Community Development Board

FROM: Heather Whitmore, AICP, PTP Community Development Director

DATE: April 3, 2026

SUBJECT: DP26-03: Here Tomorrow's 2nd Annual ECHO Fair at Jarboe Park Open-Air Market

I. BACKGROUND:

Application for Open-Air Markets as outlined in Chapter 17 Sale Article III. "Temporary Open-Air Sales and Markets" of Neptune Beach for Here Tomorrow's 2nd Annual ECHO Fair at Jarboe Park, Neptune Beach, Florida. The applicant requests a permit to hold an open-air market at Jarboe Park on August 22, 2026.

II. DISCUSSION:

Article III. Temporary Open-Air Sales And Markets Sec. 17-37. Requirement of plans and specifications states (code attached):

"Prior to the issuance by the city manager of a permit for any open-air market, it shall be necessary for the person or persons, or any other entity seeking to have the open-air market, to submit to the community development board plans and specifications showing layout, site plan, parking plan, traffic control and ingress/egress plans, floor requirements, height of displays, restroom facilities, liability insurance; procedures to protect against insects or rodents; procedures relating to cleanliness; maintenance and disposal of debris or garbage, including dumpster requirements; signage; construction or electrical and other utility requirements, including portable water, and any other information required by the community development board."

DP26-03: Here Tomorrow's 2nd Annual ECHO Fair at Jarboe Park Open-Air Market

April 8, 2026 Community Development Board Staff Report

The community development board shall have the authority to place any and all appropriate restrictions on the operation of an open-air market.

The community development board shall conduct a hearing on the application for the open-air market and shall forward its recommendations on the application to the city manager.”



Figure 1: 405 Jarboe Park

III. FINDINGS:

1. Specifications showing layout, site plan, parking plan, traffic control and ingress/egress plans:

Site plan attached, as provided by applicant showing layout, site plan, parking plan, traffic control and ingress/egress plans.

2. Floor requirements:

Placement of tents & tables (staked or weighted to ground) at Resource Fair
Placement of tents & tables (staked or weighted to ground) at Mindful Market
Placement of activities (may include tables placed onto ground)

3. Height of displays and Signage:

Yard sign standard 1.5 x 2ft & banner dimensions (8ft W x 3ft H) - use cord to hang from the two trees directly behind the Jarboe Park sign. Pipe & Drape to hang banner (~10ft W x 8ft H)
Resource Fair & Mindful Market: Vendors to be instructed that signs must not be taller than 10' in height

4. Restroom facilities:

Restrooms located at Neptune House

5. Procedures to protect against insects or rodents; procedures relating to cleanliness; maintenance and disposal of debris or garbage, including dumpster requirements;

All staff & volunteers will be directed to dispose of all waste (their own & others') into garbage cans throughout the event. Vendors will agree to follow all procedures, including those listed herein related to cleanliness & protection against insects/rodents. Volunteer Team to walk park at close of event to collect any & all remaining trash/waste throughout park.

Rented garbage units (7) will be placed throughout the park the morning of the event (7/8am)

Rented garbage units (7) will be removed from the park at the end of the event (2/3pm)

All garbage to be disposed of into the dumpster unit at 910 3 St. (Here Tomorrow's facility across from Jarboe Park)

Placement/specifications of garbage units (& dumpster): See page 6

6. Construction or electrical and other utility requirements, including portable water:

Electricity from Neptune House for speakers/music. Water fountain at Neptune House to be available in addition to provided water bottles.

IV. CONCLUSION: Staff recommends approval of Here Tomorrow's 2nd Annual ECHO Fair at Jarboe Park on August 22, 2026. Colin Moore, Park's Director, and Blake West, City Arborist, have reviewed and approved plan as attached.

V. RECOMMENDED MOTION:

a. I recommend approval of DP26-03

OR

b. I recommend denial of DP26-03

ARTICLE III. TEMPORARY OPEN-AIR SALES AND MARKETS¹

Sec. 17-33. Generally.

The provisions of subsection 27-227(b)(21) relating to retail sales shall be inapplicable to open air sales and markets.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-34. Open-air markets.

Open-air markets are defined as areas in which vendors sell flowers, plants, plant materials, fruits, produce, vegetables and other non-commercially processed food items and hand-crafted items which are made by the vendor or the vendors' immediate family, only under the permits issued under this chapter and who do not sell those items exclusively in compliance with the licensing and building regulations relating to permanent business establishments.

(Ord. No. 2000-04, § 1, 8-7-00; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)

Sec. 17-35. Location of open-air sales and markets.

Open-air sales and markets shall be operated exclusively on private property within the central business district and the C-1, C-2, and C-3 commercial districts and special events at Jarboe Park, all by permit only.

(Ord. No. 2000-04, § 1, 8-7-00; Ord. No. 2003-17, § 1, 12-1-03; Ord. No. 2008-06, § 1, 6-16-08; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)

Sec. 17-36. Open-air market area.

This chapter and its sections are intended to be utilized for the purpose of establishing an open-air market area, in which there may be numerous stalls, display or sales locations for the items listed above on private property within the central business district, and the C-1, C-2, and the C-3 commercial districts and Jarboe Park.

(Ord. No. 2000-04, § 1, 8-7-00; Ord. No. 2003-17, § 2, 12-1-03; Ord. No. 2008-06, § 2, 6-16-08; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)

Sec. 17-37. Requirement of plans and specifications.

Prior to the issuance by the city manager of a permit for any open-air market, it shall be necessary for the person or persons, or any other entity seeking to have the open-air market, to submit to the community development board plans and specifications showing layout, site plan, parking plan, traffic control and

¹Editor's note(s)—Ord. No. 2022-03, § 1(Exh. A), adopted Aug. 1, 2022, amended the title of Art. III to read as herein set out. The former Art. III was entitled "Open Air Sales and Markets."

ingress/egress plans, floor requirements, height of displays, restroom facilities, liability insurance; procedures to protect against insects or rodents; procedures relating to cleanliness; maintenance and disposal of debris or garbage, including dumpster requirements; signage; construction or electrical and other utility requirements, including portable water, and any other information required by the community development board. The community development board shall have the authority to place any and all appropriate restrictions on the operation of an open-air market. The community development board shall conduct a hearing on the application for the open-air market and shall forward its recommendations on the application to the city manager.

(Ord. No. 2000-04, § 1, 8-7-00; Ord. No. 2010-14, § 1, 9-7-10; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)

Sec. 17-38. Permit.

No person, either alone or jointly with another, or any entity of any nature, shall conduct any open-air sales without having first obtained a permit to do so from the city manager. Subsequent to the review by the community development board set forth above, this permit may be issued to the owner of the private property within the central business district, the C-1, C-2, and C-3 commercial districts and Jarboe Park on which the open-air market is to be located under such terms and conditions as the city manager deems appropriate.

(Ord. No. 2000-04, § 1, 8-7-00; Ord. No. 2003-17, § 3, 12-1-03; Ord. No. 2008-06, § 3, 6-16-08; Ord. No. 2010-14, § 2, 9-7-10; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)

Sec. 17-39. Compliance with permit requirements.

All private property owners and vendors within the market area shall comply with all requirements of the permit. Failure to comply with any other such requirements may result in the closing of that vendor's stand or location or, if necessary, the market area.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-40. Protection against insects or rodents.

Effective measures by the person, persons or entity that receives a permit for the market area shall be taken to protect against the entrance into the market area and the breeding or presence in the area of insects or rodents.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-41. No live birds or animals.

No live birds or animals shall be allowed in any of the market area used for the sales by the vendors; provided guide dogs accompanying blind persons may be permitted in these areas.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-42. Disposal of garbage and debris.

The private property owner issued the permit and all vendors shall dispose of their garbage and debris on a daily basis by a means acceptable to the city manager.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-43. Construction and electrical elements.

Any construction or electrical elements shall be in accordance with the permit requirements or, if applicable, the Code requirements of Neptune Beach.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-44. Maintain cleanliness.

All parts of the market area and its premises shall be kept neat, clean and free of litter and debris.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-45. Hours of operation.

The market area shall be limited to Saturday mornings and the hours of operation being from 8:00 a.m. to 5:00 p.m.

(Ord. No. 2000-04, § 1, 8-7-00; Ord. No. 2003-17, § 4, 12-1-03; Ord. No. 2008-06, § 4, 6-16-08)

Sec. 17-46. Waiver of licenses and fees.

Any licenses and fees which might otherwise be required by the city for the operation of the market area are hereby waived for vendors and the person, persons or any other entity issued a permit to operate the market area.

(Ord. No. 2000-04, § 1, 8-7-00)

Sec. 17-47. Seasonal sales.

- (a) For-profit and nonprofit entities may have Christmas tree sales in the commercial C-3 district with the written permission of the owner of the property. A for-profit entity must have a local business tax receipt issued by the city beginning operation. The sale of Christmas trees may take place from the Tuesday before Thanksgiving to November to December 24th.
- (b) Nonprofits may have three (3) seasonal fundraising sales per calendar year, on their property that is in a residential district.

(Ord. No. 2008-13, § 1, 10-20-08)

Sec. 17-48. Food trucks/mobile vendors.

Food trucks and/or mobile vendors serving items consumable or useable by animals may be permitted by the city manager as set forth herein.

(1) *Jarboe Park and/or city property.*

- a. Food trucks may be allowed in Jarboe Park and/or city property as permitted by the city manager or designee, subject to the requirements below.
- b. The operation of food trucks shall not be permitted on city streets.

-
- c. The daily operation of food trucks shall not be permitted in city rights-of-way, or private property.
 - d. Food trucks shall not be permitted on the beach or on city beach access points.
- (2) *Residential districts and commercial districts.*
- a. Food trucks shall only be permitted in residential zoning districts and commercial districts at special or catered events with appropriate permits.
 - 1. A catered event is defined as where a property owner hosting a private special event pays the food truck operator or owner for the service and no individual "walk-up" sales occur.
 - 2. A special event shall be defined as an occasional or periodic gathering hosted, sponsored, or authorized by a property owner. The frequency and uniqueness of the proposed event shall be considered by the city manager in reviewing an application.
 - 3. The food truck may only operate at the private special event during the approved hours of the event, including set-up and take-down times.
 - 4. Food trucks in commercial areas should be parked in such a way as to not cause traffic problems, and when possible, positioned on property hosting the special event.
- (3) *Standard permit requirements.*
- a. The following requirements must be met for the operation of food trucks:
 - 1. Submittal of a completed and approved application form by the property owner.
 - 2. Proof of liability insurance held by the food truck owner for at least one million dollars (\$1,000,000.00).
 - 3. Proof of inspection by the Duval County Health Department of the food truck within the last six (6) months.
 - 4. Proof of a valid Neptune Beach business tax receipt.
 - 5. Food trucks at special events are required to submit a fire safety plan with their application and must pass a fire inspection once the event is set up. Furthermore, they may be closed by the police department, fire marshal, or the building official for safety issues, violation of the permit, or violation of other city ordinances.
 - 6. The applicant shall pay the required fees set forth by city council resolution.
- (4) A food truck shall be defined as a vehicle, trailer or other similar mobile food unit equipped with facilities for cooking and/or preparing and selling food and/or other items for human or animal consumption or use.

(Ord. No. 2014-18, § 1, 10-6-14; Ord. No. 2015-01, § 1, 3-2-15; Ord. No. 2018-05, § 1, 10-1-18; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)

Secs. 17-49—17-70. Reserved.

Overview Site Map

ECHO Fair - Jarboe Park - 8/22/26

Overview Site Map

ECHO Fair - Jarboe Park - 8/22/26

Set-Up	7am - 10am
Event	10am - 2pm
Clean-Up	2pm - 4pm

Dumpster to be used
for trash/waste

Full Signage Map on pg2

Additional information on pg7

Resource Fair & Mindful Market

Local non-profits, mental health resources,
& community organizations to host tables
for service awareness & information

AND

Open-Air Market for local artists, makers, & businesses to host booths for sales of goods/services

(Full Fair & Market Map on pg 3).

Games & Activities

Area for outdoor games & wellness activities (Ex: cornhole, 4-square, scavenger hunt, use of playground & basketball court, etc.)

(Full Activity Map on pg 5).

Parking

(overflow parking)

Food Trucks

Aprx. 4 food trucks set up in this area offering food/drink options

Neptune House

Restrooms, coolers with water, indoor games, space to rest from the heat, etc.

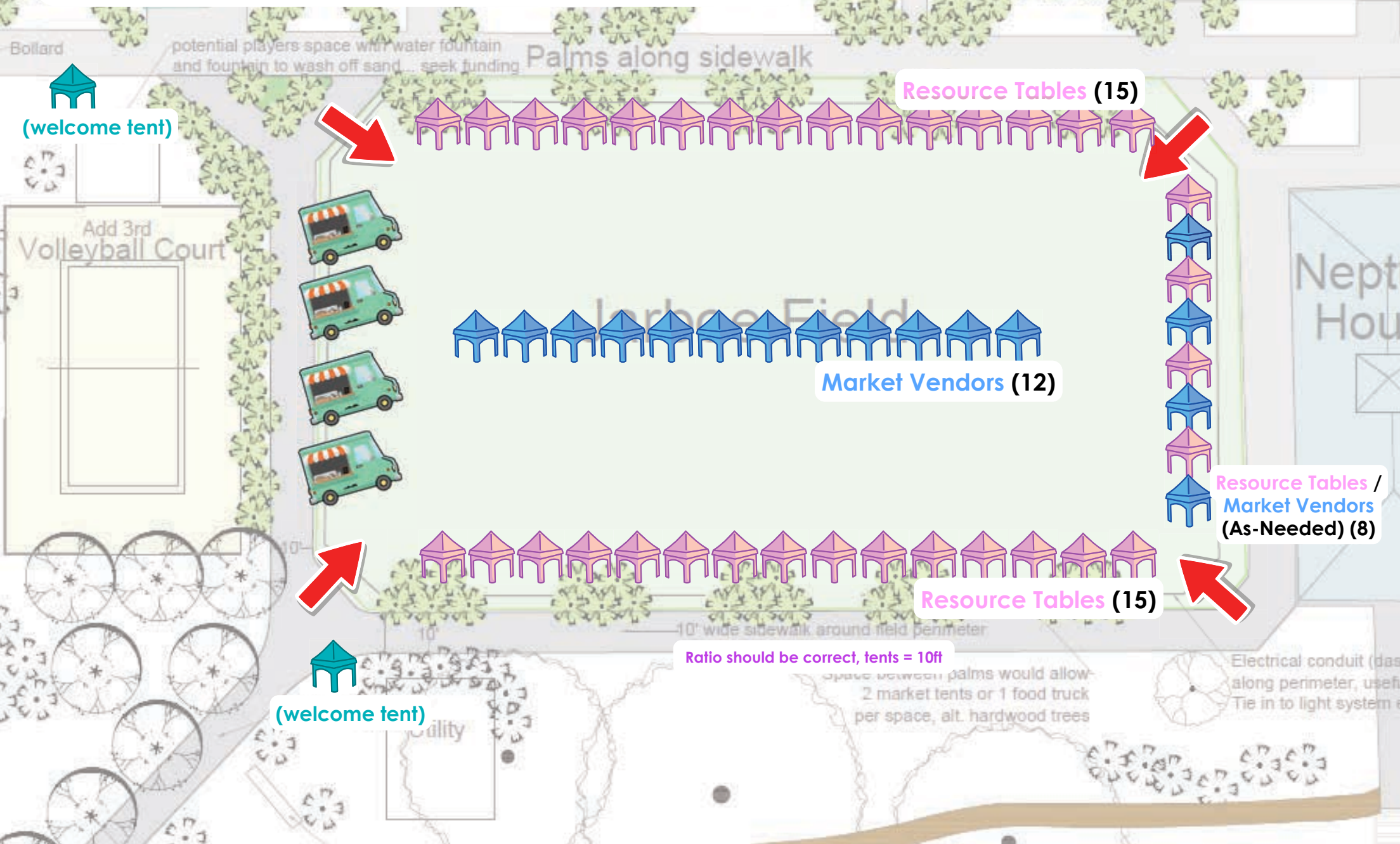
(Full Utilities Map on pg.6).

Ingress

Egress

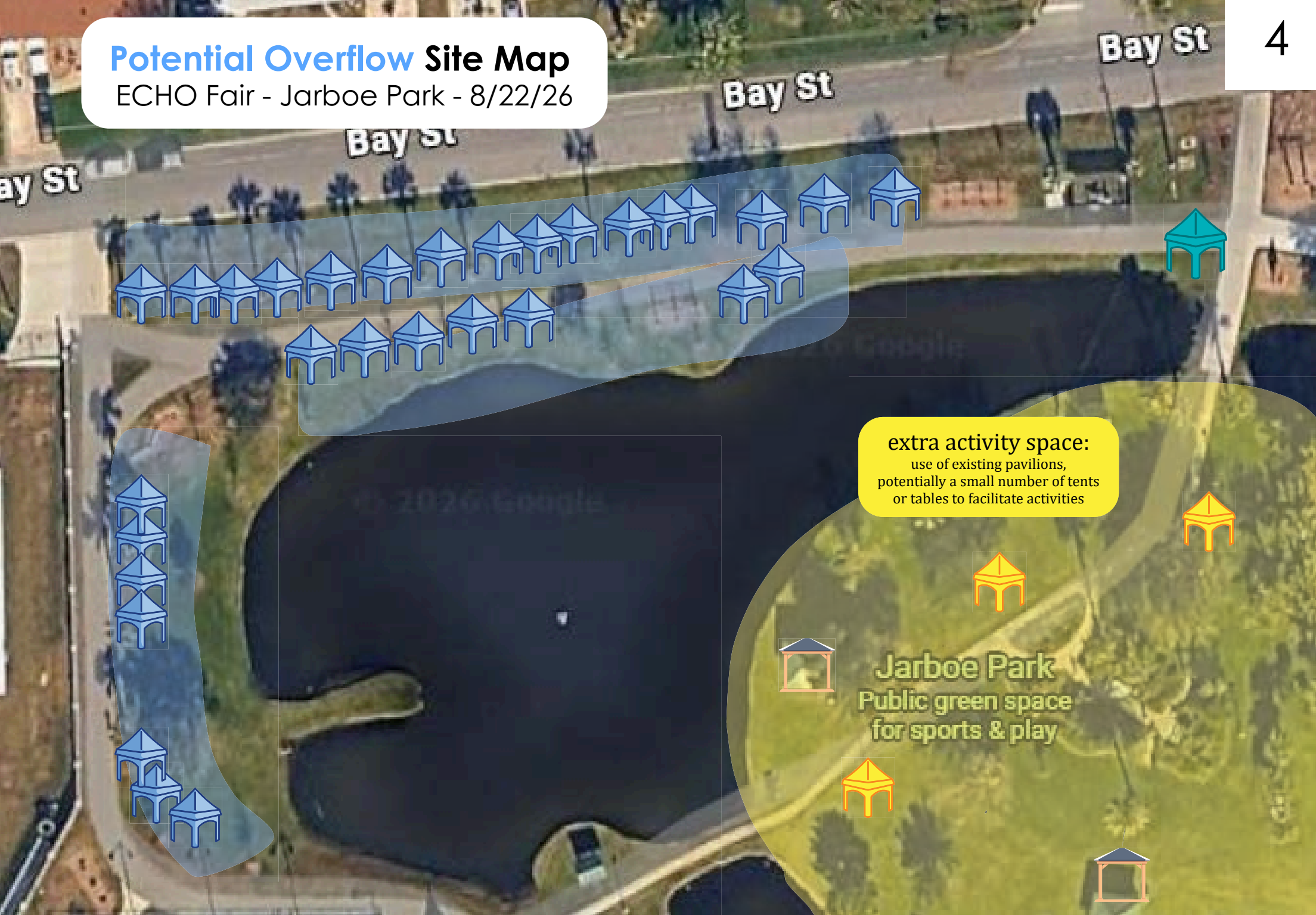
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 **x50**



Potential Overflow Site Map

ECHO Fair - Jarboe Park - 8/22/26

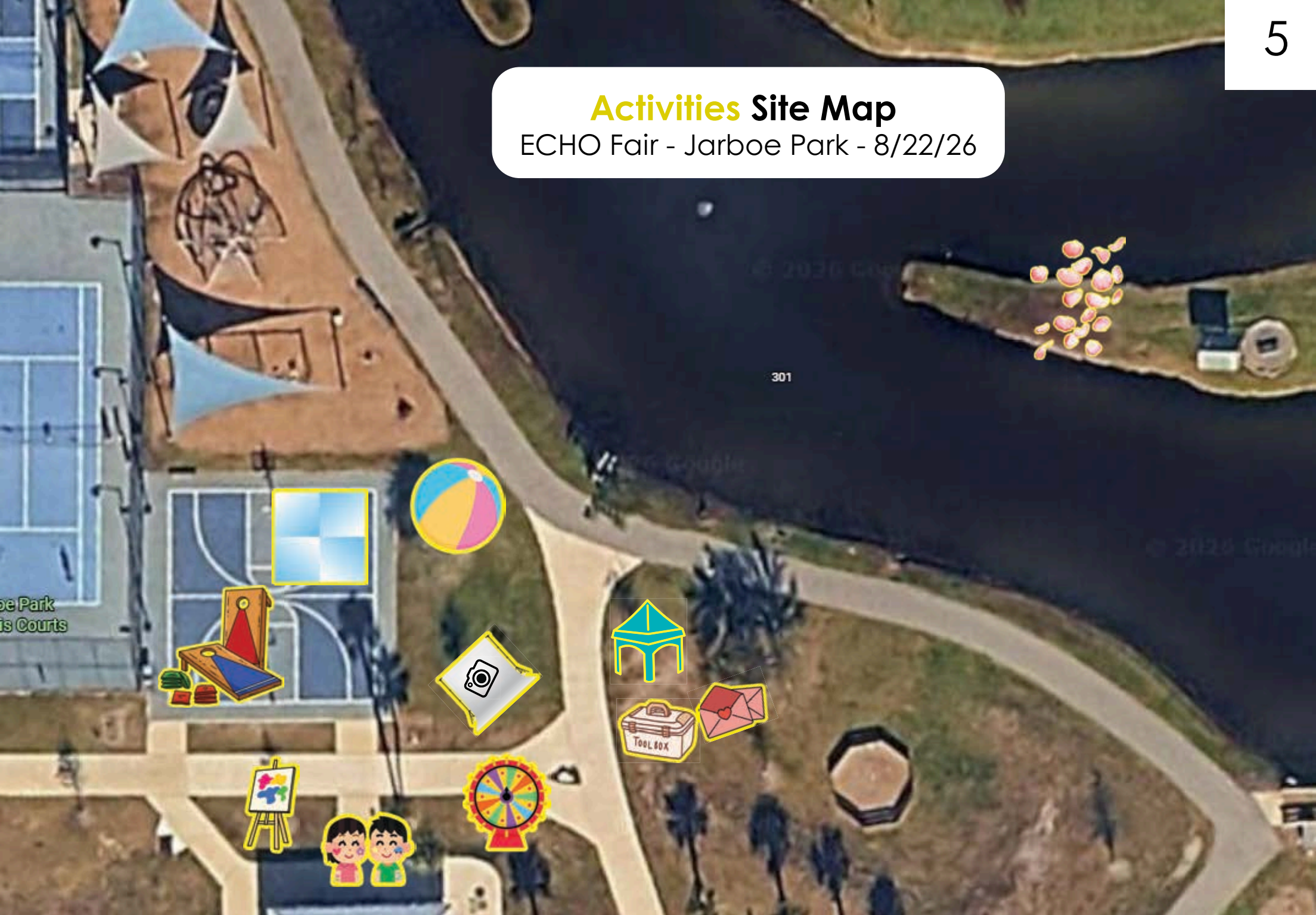


extra activity space:
use of existing pavilions,
potentially a small number of tents
or tables to facilitate activities

Jarboe Park
Public green space
for sports & play

Activities Site Map

ECHO Fair - Jarboe Park - 8/22/26



Utilities Map

ECHO Fair - Jarboe Park - 8/22/26

All rented trash cans (total = 7)
will be 32G plastic cans
(see picture below)



All trash cans will be placed in
the park around 7-8AM and
removed from the park no
later than 3PM by our
volunteer team

Neptune House:



Additional Required Information:

Floor specifications

- Placement of tents & tables (staked or weighted to ground) at Resource Fair: See page 4
- Placement of tents & tables (staked or weighted to ground) at Mindful Market: See page 3
- Placement of activities (may include tables placed onto ground): See page 5
- Placement of yard signs (staked into ground): See page 2
- Chalking of sidewalks (see placement on page 2)

Height of displays

- Yard sign & banner dimensions: See page 2
- Resource Fair & Mindful Market: Vendors to be instructed that signs must not be taller than 10' in height

Procedures to protect against rodents or insects

- All staff & volunteers will be directed to dispose of all waste (their own & others') into garbage cans throughout the event.
- Vendors will agree to follow all procedures, including those listed herein related to cleanliness & protection against insects/rodents.

Procedures relating to cleanliness

- All staff & volunteers will be directed to dispose of all waste (their own & others') into garbage cans throughout the event.
- Volunteer Team to walk park at close of event to collect any & all remaining trash/waste throughout park.
- Vendors will agree to follow all procedures, including those listed herein related to cleanliness & protection against insects/rodents.

Maintenance & disposal of garbage, including dumpster requirements

- Rented garbage units (7) will be placed throughout the park the morning of the event (7/8am)
- Rented garbage units (7) will be removed from the park at the end of the event (2/3pm)
- All garbage to be disposed of into the dumpster unit at 910 3rd St. (Here Tomorrow's facility across from Jarboe Park)
- Placement/specifications of garbage units (& dumpster): See page 6

Construction or electrical and other utility requirements, including portable water

- Electricity from Neptune House for speakers/music
- Water fountain at Neptune House to be available in addition to provided water bottles

Terms to be provided to all volunteers, staff, & vendors to ensure compliance with procedures:

- Tents may be staked or weighted to the ground. Any displays should not exceed 10' in height.
- Please dispose of all food/drinks; do not leave anything out & open that may attract insects/pests.
- All trash/waste must be removed or disposed of before leaving the park.

CITY OF NEPTUNE BEACH – COMMUNITY DEVELOPMENT DEPARTMENT



STAFF REPORT

MEETING DATE: April 8, 2026
BOARD/COMMITTEE: Community Development Board
APPLICATION NUMBER: V26-03/SE26-01/DP26-04

TO: Community Development Board

FROM: Heather Whitmore, AICP, Community Development Director

DATE: April 3, 2026

SUBJECT: V26-03/SE26-01/DP26-04– 626 Atlantic Blvd (RE# 172398-0100) Fifth Third Bank

V26-03: Application for variance as outlined in Chapter 27 Article III Division 8 of the Unified Land Development Code of Neptune Beach for Fifth Third Bank/BDG Architects for the property currently known 626 Atlantic Blvd (RE# 172398-0100). The applicant requests a variance from table 27-239 C-3 frontage buildout to permit a 30% building frontage in lieu of the required 70% building frontage. The property is in the C-3 zoning district.

SE26-01: Application for art project as outlined in Chapter 27 Article XV Section 27-596 of the Unified Land Development Code of Neptune Beach for Fifth Third Bank/BDG Architects for the property currently known 626 Atlantic Blvd (RE# 172398-0100). The applicant requests approval for mural. The property is in the C-3 zoning district.

DP26-04: Application for Preliminary Development Plan as outlined in Chapter 27 Article III Division 2 of the Unified Land Development Code of Neptune Beach for Fifth Third Bank/BDG Architects for the property currently known 626 Atlantic Blvd (RE# 172398-0100). The applicant requests to establish a 1,978 square foot bank. The property is in the C-3 zoning district.

I. BACKGROUND:

The applicant requests a development plan approval to permit a 1,978 square foot bank building with associated parking, drive thru, and landscaping. The property is in the Commercial-3 (C-3) zoning district and has a Commercial-II comprehensive plan future land use designation. DP26-04 requires a concurrent review of associated variance V26-03 from Table 27-239 C-3 Primary Street Frontage Buildout to permit the construction of a +/- 30 foot wide office building in lieu of the required 70 foot building width, as well as a concurrent review of associated special exception SE26-01 for a mural in accordance with Section 27-596 Art Project.

The proposed bank will be located at the former Kentucky Fried Chicken site. The property is shown in attached vicinity maps and is located adjacent to Seminole Shoppes Public Plaza, lying south of Atlantic Blvd. The 16,552 SF lot is 100' wide and 165' deep. The site's current impervious lot coverage is 70%, composed largely of concrete parking. The current 3,114 SF, 39' wide fast food restaurant will be demolished.

II. DISCUSSION:

The applicants representing Fifth Third bank requests to build a one-story, 20 foot high, 1,978 SF bank building with associated nine (9) onsite parking spaces and landscaping.



Figure 1: 626 Atlantic Blvd

The 1,978 SF bank building requires five (5) parking spaces based on one per 400/SF code minimum. The site will have nine (9) parking spaces total, as well as a drive-thru with a stacking and bypass lane.

The parking lot will be densely landscaped with a grass and evergreen hedge, and a variety of elm, live oak, cypress, and red maple trees (as indicated in attached landscape plans). The proposed parking area will replace the site's existing concrete with pervious pavers to improve stormwater management conditions. The site's post-development impervious lot coverage will be reduced 68%.

The project has been issued a Certificate of Concurrency (attached) for traffic. The project traffic volume will not decrease the current level of service on the immediate traffic network. The project will generate approximately 198 trips per day, which is a 1,300 net reduction in daily trip volume down from the 1,468 trips generated by a 3,000 SF fast food drive thru restaurant.

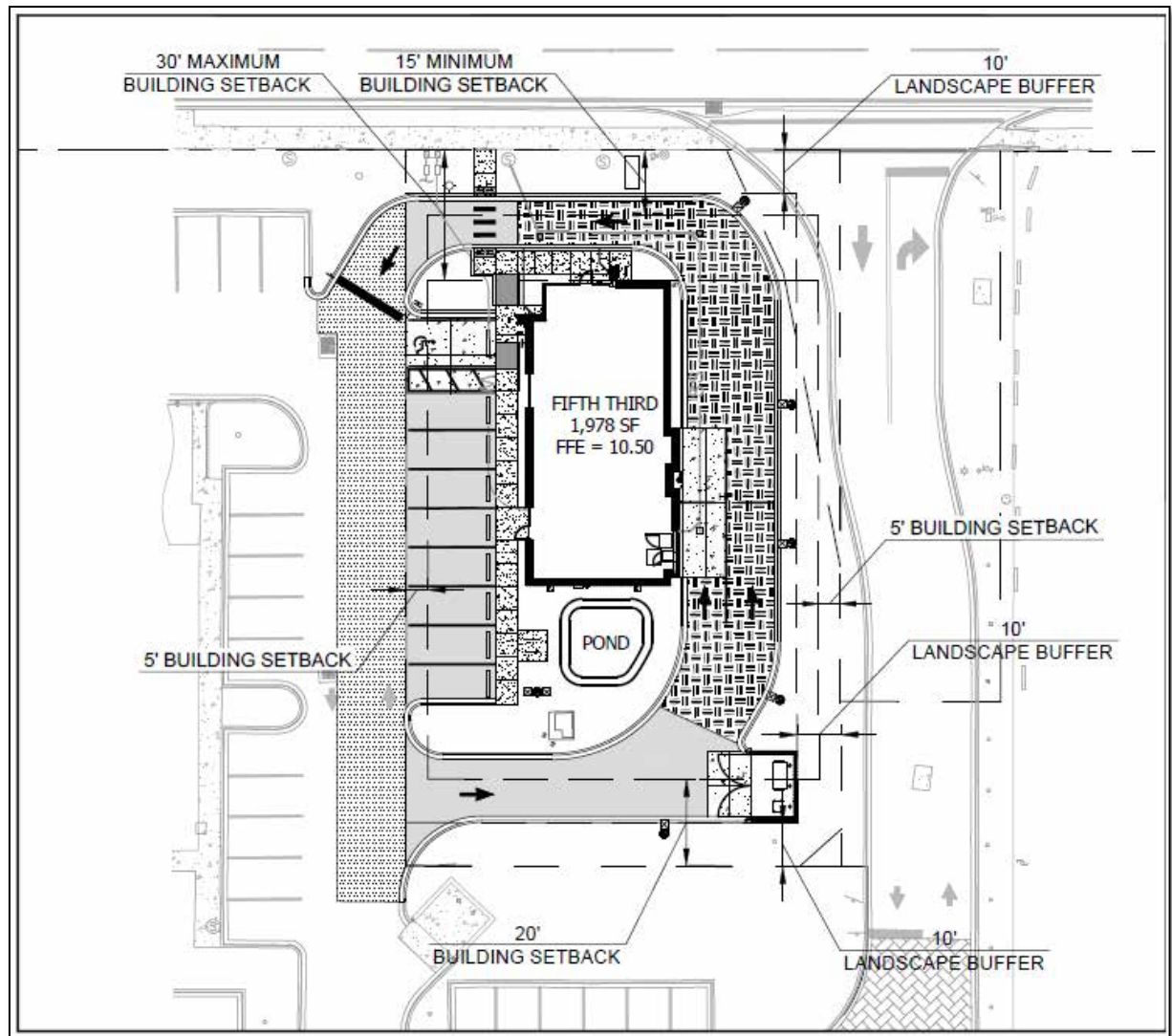


Figure 2: 626 Atlantic Blvd Fifth Third Development Plan

Variance V26-03

As stated, the applicant requests a variance from Table 27-239 C-3 Primary Street Frontage Buildout to permit the construction of a +/- 30 foot wide office building in lieu of the required 70 foot building width. The proposed building is approximately 30 feet wide and 60 feet deep.

The purpose of the variance is to rebuild on similar footprint as the existing building to allow adequate parking and drive through lane area. The site's 100' narrow width, combined with parking and driveway requirements leave only a narrow building pad area.

Special Exception SE26-01

The applicant requests to approval of associated special exception SE26-01 for a mural in accordance with Section 27-596 Art Project, to allow an original Ernesto Maranje mural on the southern and west exterior walls (as shown below).



Figure 3: 626 Atlantic Blvd Fifth Third Mural

Sec. 27-596 (a) - Art project states:

“Proposed art projects must apply for a public art permit with the building department on the forms provided by the city and pay any associated permit fees before being placed on the community development board agenda. Any proposed art project in the commercial districts that in the opinion of a majority of the community development board is found to be public art that enhances the commercial district may be recommended to the city council for its approval. If approved by the city council, such an art project will be permitted as long as it is maintained in good condition. The city council may place conditions for approval on the proposed project. Any such art project which deteriorates over time shall be removed by the applicant at the sole discretion of the city council. The city manager or designee will determine if the application is complete before setting a date for the community development board to consider the application.”

III. V25-05 FINDINGS:

- 1. The property has unique and peculiar circumstances, which create an exceptional and unique hardship. For the purpose of this determination, the unique hardship shall be unique to the parcel and not shared by other property owners in the same zoning district.**
 - a. Applicant Response:** The unique hardship is a result of the rectangular shape of the property. While the square footage of the property is 16,406 square feet which confirms the minimum lot size of 15,000 SF the width of the street frontage is narrow at 100 foot wide.
 - b. Staff Response:** The site is deep and narrow. The existing driveway and parking access easement cannot be adjusted, therefore the building layout options limit site orientation to require the shown north/south configuration.
- 2. The proposed variance is the minimum necessary to allow the reasonable use of the parcel of land.**
 - a. Applicant Response:** The proposed variance is necessary minimum based on the required parking sidewalk and drive lanes used to maneuver around the building.
 - b. Staff Response:** The parcel can reasonably be used today under the current use without a variance. The requested building lot frontage variance is not the minimum necessary to permit use of the parcel or building. The building orientation is to allow driveway and parking accessibly on a lot with an existing access easement configuration.
- 3. The proposed variance would not adversely affect adjacent and nearby properties or the public in general.**

- a. **Applicant Response:** The proposed variance will not adversely affect adjacent properties or the public in general because the previous use of a fast food restaurant has a very similar configuration of parking sidewalk and Dr. lanes around the building.
 - b. **Staff Response:** The variance will not adversely impact adjacent and nearby properties.
- 4. **The proposed variance will not substantially diminish property values in, nor alter the essential character of the area surrounding the site.**
 - a. **Applicant Response:** The proposed variance will enhance the character of property values because of the existing condition as an abandoning fast food restaurant. The proposed branch bank will be comprised of new construction new exterior lighting and security cameras which contribute to a safer environment as compared to the existing conditions.
 - b. **Staff Response:** The proposed variance will not substantially diminish property values in, nor alter the essential character of the area surrounding the site. The variance will allow a similar redevelopment of the site.
- 5. **The effect of the proposed variance is in harmony with the general intent of the ULDC and the specific intent of the relevant subject area(s) of the ULDC.**
 - a. **Applicant Response:** The harmonious building features include scale proportion colors materials and lighting.
 - b. **Staff Response:** The variance request from the required building frontage is not in conflict with the general intent of the LDC.
- 6. **The need for the variance has not been created by the actions of the property owner or developer nor is it the result of mere disregard for the provisions from which relief is sought.**
 - a. **Applicant Response:** The need for the variance as a result of the existing conditions. It is simply not feasible to construct a 70 foot wide building on a 100 foot wide property.
 - b. **Staff Response:** The site's existing configuration and driveway and access easement limit the orientation options for the building.
- 7. **Granting the variance will not confer upon the applicant any special privilege that is denied by the ULDC to other lands, buildings, or structures in the same zoning district.**

- a. **Applicant Response:** The existing conditions of the vacant fast food restaurant is not conforming to the 70% rule therefore granting at the proposed variance would simply maintain existing property configuration.
- b. **Staff Response:** Granting the variance would not confer upon the applicant a special privilege that is denied by the ULDC to other lands, buildings, or structures in the same zoning district. The site's existing configuration and driveway and access easement limit the orientation options for the building.

IV. SE26-01 FINDINGS:

Sec. 27-596 (b) - Art project states: In making their decisions, both the community development board and city council shall determine:

- 1. That the proposed art project will enhance the aesthetic beauty of the area of its proposed location;**

The proposed mural is proposed specifically to enhance the aesthetic beauty of the area.

- 2. That the artist is capable of completing the work in accordance with the plan submitted as part of the application;**

The artist has presented a clear installation outline and has experience preparing similar murals.

- 3. That the information in the application regarding the durability and expected maintenance of the proposed art project is correct;**

The artist has prepared a materials list with exterior paint and varnish in order to provide long term durability and maintenance.

- 4. That the materials to be used and the manner of application will not require excessive maintenance by its owner.**

The artist has prepared a materials list with exterior paint and varnish in order to provide long term durability and maintenance.

V. DP26-04 FINDINGS:

Sec. 27-82. - Procedures for applying for and issuing preliminary and final development orders state the community development board shall conduct a quasijudicial public hearing and shall consider the following factors when issuing a development order:

1. Characteristics of the site and surrounding area, including important natural and manmade features, the size and accessibility of the site, and surrounding land uses.

The proposed development plan is consistent with the surrounding zoning and uses. The site is surrounded by commercial uses on all sides.

The proposed building will be in a modern architectural style. The bank site will be densely landscaped with a grass and evergreen hedge, and a variety of elm, live oak, cypress, and red maple trees. The proposed mural is provided to enhance the beauty of the building to contribute to the site's aesthetic impact.

2. Whether the concurrency requirements of article VI of this Code could be met if the development were built.

Traffic: The project has been issued with a Certificate of Concurrency (attached) for traffic. The project traffic volume will not decrease the current level of service on the immediate traffic network. The project will generate approximately 198 trips per day, which is a 1,300 net reduction in daily trip volume down from the 1,468 trips generated by a 3,000 SF fast food drive thru restaurant.

Water/Sewer: This project has been issued with a water and sewer letter of available from City of Neptune Public Works.

School: Not applicable

Drainage: A new on-site parking area will be constructed using concrete and "permeable" pavers to reduce the stormwater runoff leaving the site. St. Johns River Water Management District has issued an Environmental Resource Permit.

3. The nature of the proposed development, including land use types and densities; the placement of proposed buildings and other improvements on the site; the location, type and method of maintenance of open space and public use areas; the preservation of natural features; proposed parking areas; internal traffic circulation system, including trails; the approximate total ground coverage of paved areas and structures; and types of water and sewage treatment systems.

The proposed development plan is designed to be compatible with the surrounding area. The proposed bank building site plan complies with density, height, setback, open space, landscaping, lighting, public utility, parking and traffic circulation standards.

4. Conformity of the proposed development with the comprehensive plan, this Code, and other applicable regulations.

The office site plan and building are consistent with comprehensive plan Commercial-II land use which states:

These areas shall include offices, professional services, and retail sales that serve the City and surrounding communities.

As stated, the applicant requests a variance from Table 27-239 C-3 Primary Street Frontage Buildout to permit the construction of a +/- 30 foot wide office building in lieu of the required 70 foot building width.

The purpose of the variance is to rebuild on similar footprint as the existing building to allow adequate parking and drive through lane area. The site's 100' narrow width, combined with parking and driveway requirements leave only a narrow building pad area.

5. Applicable regulations, review procedures, and submission requirements.

The proposed development plan is designed to be compatible with the surrounding area. The proposed bank building site plan complies with density, height, setback, open space, landscaping, lighting, public utility, parking and traffic circulation standards.

6. Concerns and desires of surrounding landowners and other persons.

The development order request was noticed as required to property owners within 300 feet. A sign was posted on the property according to requirements. Staff has not received any comments from the public.

7. Other applicable factors and criteria prescribed by the comprehensive plan, this Code, or other law.

The proposed development plan is designed to be compatible with the surrounding area. The proposed bank building site plan complies with density, height, setback, open space, landscaping, lighting, public utility, parking and traffic circulation standards.

VI. STAFF RECOMMENDATION

Staff recommends approval of variance V26-03 from Table 27-239 C-3 Primary Street Frontage Buildout to permit the construction of a +/- 30 foot wide office building in lieu of the required 70 foot building width.

Staff recommends approval associated special exception SE26-01 for a mural in accordance with Section 27-596 Art Project.

Staff recommends approval of the application for development plan DP26-04 to establish a 1,978 square foot bank.

The developer shall submit a final development plan for review by the City Council. The final development plan shall be consistent with the preliminary development Plan shall contain no land uses different than those approved in the preliminary development plan.

VII. RECOMMENDED MOTION:

V26-03

- a. I recommend approval of V26-03

OR

- b. I recommend denial of V26-03

SE26-01

- a. I recommend approval of SE26-01

OR

- b. I recommend denial of SE26-01

DP26-04

- a. I recommend approval of DP26-04

OR

- b. I recommend denial of DP26-04

VIII. Exhibits:

- A. Table 27-239
- B. Variance, Special Exception, and Development Order Application
- C. Development Plan
- D. Elevations
- E. Landscape Plan
- F. Mural Project Description
- G. Certificate of Concurrency and Traffic Analysis
- H. Water and Sewer Service Availability Letter

Table 27-239

	R-1	R-2	R-3	R-4 ¹	R-5 ²	C-1	C-2	C-3	CBD ²	NC Overlay	RC Overlay
	Single-Family Residential			Single/ Two-Family Res.	Multi-Family ¹⁴	Commercial					Single/ Two-PFamily Res.
Building Height											
Max. Height ³	28’	28’	28’	28’	28’	35’	35’	35’	35’	35’	28’
Max. Stories	2	2	2	2	2	3	3	3	3	3	2
Density (dwelling units divided by gross site area in acres - du/a)											
Max. Density (du/a)	5	5	5	10	17	-	-	-	10	-	10
Setbacks											
Front Yard ⁴	25’ min.	20’ min.	15’ min.	Flexible ⁵	30’ min.	10’ min. 25’ max.	25’ min.	15’ min. 30’ max.	0’ min. ⁶ 10’ max.	5’ min. 15’ max.	10’ min. 25’ max.
Rear Yard	30’ min.	25’ min.	25’ min.	Flexible ⁵	30’ min.	10’ min.	15’ min.	20’ min.	5’ min.	10’ min.	15’ min.
Side Yard (Internal)	10’ min.	10% of lot width (7’min.)	10% of lot width (7’min.)	7’ min. ⁷	25’ min.	5’ min.	15’ min.	5’ min.	0’ min	0’ min.	7’ min. ⁷
Side Yard (Street)	15’ min.	10’ min.	10’ min.	8’ min.	25’ min.	10’ min. 25’ max.	20’ min.	10’ min. 25’ max.	5’ min. 15’ max.	10’ min. 25’ max.	8’ min. 25’ max.
Frontage Buildout											
Primary Street	-	-	-	-	-	70% min. ⁸		70% min.		70% min.	-
Lot Dimensions/Size											
Min. Lot Area (SF.)	12,000	10,000	5,000	4,356	-	7,500	10,000	15,000	-	7,500	4,356 ¹⁰

Max. Lot Area (SF)	-	-	-	15,000	-	-	-	-	-	-	15,000
Min. Lot Width (FT)	100'	85'	50'	50'	200'	60'	80'	100'	-	50'	50' ¹¹
Max. Lot Coverage	50%	50%	50%	50%	35%	70%	70%	75%	85%	70%	50% ⁹
Additional											
Max. Building Floor Area (sq. ft.) ¹²	-	-	-	-	-	30,000	60,000	60,000	25,000	20,000	-

EXHIBIT A

- ¹ The minimum R-4 and RC Overlay lot dimensions in this table are superseded by the actual dimensions of smaller lots if those lots were lawfully platted and recorded prior to December 2, 2019, in the Office of the Clerk of the Circuit Court of Duval County, Florida.
- ² Any single/two-family homes or multifamily structures in CBD shall comply with the development standards for the RC overlay.
- ³ For lots in the R-1 zoning district that have a minimum lot size of twelve thousand (12,000) square feet and one hundred (100) feet lot width as measured at the building line parallel to the front face of the house and perpendicular to the primary side yard, thirty-five (35) feet of maximum building height will be permitted, so long as the primary roof structure is built at a minimum five-twelfths roof pitch, and not to exceed two (2) stories of living area.
- ⁴ More specific front yard setbacks shall apply in locating new structures around the following road segments: Penman Road, Seagate Avenue, and Florida Boulevard (See subsection 27-231(b).)
- ⁵ The front and rear yard setbacks may be flexible in that both measurements must total thirty-five (35) feet; however, neither can measure less than the fifteen (15) feet.
- ⁶ New developments built to the front lot line will need to be cleared by public works first to ensure there are no infrastructure conflicts. ⁷ Duplexes comprised of two attached homes shall be exempt from the interior side setback where the units meet.
- ⁸ Lots less than 120' wide may have a reduced minimum frontage buildout of 60% in order to accommodate side yard parking.
- ⁹ Additionally, 25% of the overall site, or half of the required pervious area, must be comprised of greenspace.
- ¹⁰ Min. lot area for duplexes shall be 8,500 square feet, or 4,356 square feet for each unit if divided into two fee simple lots.
- ¹¹ Min. lot width for duplexes that have been divided into two fee simple lots of 40' each prior to December 2, 2019 shall be deemed conforming.
- ¹² No standalone building shall exceed the maximum floor area shown. Additional information can be found in Section 27-237.
- ¹³ Lots bounded by more than two streets may elect no more than two primary streets. All other streets shall meet the setback and frontage requirements for secondary streets. In these unique cases there may not be a rear yard.
- ¹⁴ Multifamily residences on lots less than one-half acre shall only utilize a maximum of 70% lot coverage.

EXHIBIT A

APPLICATION FOR ZONING VARIANCE

TO THE CITY OF NEPTUNE BEACH COMMUNITY DEVELOPMENT DEPARTMENT
116 FIRST STREET
NEPTUNE BEACH, FLORIDA 32266-6140
PH: 270-2400 Email: Bldgclerk@NBFL.US



IMPORTANT NOTE: THE COMMUNITY DEVELOPMENT BOARD, IN CONSIDERING YOUR PETITION, IS ACTING IN A QUASI-JUDICIAL CAPACITY AND ANY DISCUSSION WITH MEMBERS, OTHER THAN AT A PUBLIC MEETING IS PROHIBITED AND ANY SUCH CONTACT MAY VOID YOUR PETITION.

Date Filed:	Zoning District: C-3	Real Estate Parcel Number: 172398-0100
Name & Address of Owner of Record: __KOLA, LLC_____ _____ Contact phone number# __904-608-3964_____ e-mail address __Jkola555@gmail.com_____		Property Address: __626 Atlantic Blvd., Neptune Beach, FL 32266_____ Number of units on property __1_____ Have any previous applications for variance been filed concerning this property? __N/A_____ If Yes, Give Date: _____
Section 27-15 of the Unified Land Development Code (ULDC) defines a variance as follows: <i>Grant of relief authorized by the board of appeals, or the city council upon recommendation by the planning and development review board, that relaxes specified provisions of the Code which will not be contrary to the public interest and that meets the requirements set forth in article III, division 8 of this Code.</i>		
1. Explain the proposed relief being sought from the code(s): Proposed building, zoned C-3 does not adhere to the 70% minimum Frontage Buildout along primary street.		
2. Explain the purpose of the variance (if granted): Requesting a variance from 70% to 35%. The width of the existing property is 100 ft. and requires parking, sidewalk, drive-thru and bypass lanes in addition to building frontage.		
3. Based on the required findings needed to issue a variance in Section 27-147 explain the following (attach additional sheets as necessary):		

A. How does your property have unique and peculiar circumstances, which create an exceptional and unique hardship? Unique hardship shall be unique to the parcel and not shared by other property owners. The hardship cannot be created by or be the result of the property owner's own action. The unique hardship is a result of the rectangular shape of the property. While the square footage of the property is 16,406 sf, which conforms to the minimum lot size of 15,000 sf, the width of the street-frontage is narrow at 100 ft wide.
B. How is the proposed variance the minimum necessary to allow reasonable use of the property? The proposed variance is the minimum necessary based on the required parking, sidewalk and drive lanes used to maneuver around the building.
C. Indicate how the proposed variance will not adversely affect adjacent or nearby properties or the public in general. The proposed variance will not adversely affect adjacent properties or the public in general because the previous use (fast food restaurant) has a very similar configuration of parking, sidewalk and drive lanes around the building.
D. Indicate how the proposed variance will not diminish property values nor alter the character of the area. The proposed variance will enhance the character and property value because the existing condition is an abandoned fast food restaurant. The proposed branch bank will be comprised of new construction, new exterior lighting and security cameras which will contribute to a safer environment as compared to the existing conditions.
E. Explain how the proposed variance is in harmony with the general intent of the Unified Land Development Code. Harmonious building features include scale, proportion, colors, materials and landscaping.

F. Explain how the need for the proposed variance has not been created by you or the developer? The need for the variance is a result of the existing conditions. It is simply not feasible to construct a 70 ft wide building on a 100 ft wide property.
G. Indicate how granting of the proposed variance will not confer upon you any special privileges that is denied by the code to other lands, buildings or structures in the same zoning district. The existing conditions of the vacant fast food restaurant is non-conforming to the 70% rule, therefore, granting of the proposed variance would simply maintain existing property configurations.
4. Required Attachments-Applicant must include the following: (INCOMPLETE PACKAGES WILL BE RETURNED)
A. 8 1/2" by 11" overhead site plan drawn to an appropriate scale showing the location of all existing and proposed improvements to the property and including all setback measurements from property lines. WHICH HAS NOT BEEN REDUCED.
B. Survey of the property certified by licensed surveyor and dated within one year of application date. SURVEY MUST BE ORIGINAL SIZE AND CAN NOT BEEN REDUCED.
C. Copy of Deed
D. Pictures of the property as it currently exists
5. Letter of authorization for agent to make application (Required only if not made by owner)
6. NON-REFUNDABLE FEE:

NO APPLICATION WILL BE ACCEPTED UNTIL ALL THE REQUESTED INFORMATION HAS BEEN SUPPLIED AND THE REQUIRED FEE HAS BEEN PAID. THE ACCEPTANCE OF AN APPLICATION DOES NOT GUARANTEE ITS APPROVAL BY THE COMMUNITY DEVELOPMENT BOARD. THE APPLICANT AND SURROUNDING PROPERTIES WILL BE NOTIFIED OF THE PUBLIC HEARING BY MAIL AND POSTING OF THE PROPERTY. THE APPLICANT OR HIS/HER AUTHORIZED AGENT MUST BE PRESENT AT THE MEETING.

***If a residential zoning variance is granted, then a 30 day wait period must pass before any required building permits can be released, in order to allow time for appeals.**

***If a commercially zoned variance is granted by council, then a 30 day wait period must pass before any required building permits can be released, in order to allow time for appeals.**

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND THE INFORMATION CONTAINED IN THIS APPLICATION. THAT I AM THE PROPERTY OWNER OR AUTHORIZED AGENT FOR THE OWNER WITH AUTHORITY TO MAKE THIS APPLICATION, AND THAT ALL OF THE INFORMATION CONTAINED IN THIS APPLICATION, INCLUDING THE ATTACHMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I HEREBY APPLY FOR A ZONING VARIANCE AS REQUESTED.

NAME (S) OF PROPERTY OWNER (S)

NAME OF AUTHORIZED AGENT

____Masood Kola____
ADDRESS OF PROPERTY OWNER

BDG Architects, LLP - Angelina Makowski____
ADDRESS OF AUTHORIZED AGENT

____3770 Saltmeadow Ct. S. Jacksonville, FL 32224____ 400 N. Ashley Dr., Tampa, FL 33602____

SIGNATURE OF OWNER OR AUTHORIZED AGENT:



OWNER'S AUTHORIZATION FOR AGENT/AFFIDAVIT OF ASSENT

THIS FORM MUST BE FILLED OUT IN THE CASE THAT THE APPLICANT IS NOT THE OWNER OF THE PREMISES UNDER WHICH THE PARTICULAR APPLICATION IS BEING FILED.

BDG Architects, LLP - Angelina Makowski____ is hereby authorized TO ACT ON BEHALF OF

____Kola, LLC, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Neptune Beach, Florida, for an application related to a variance:

BY:



Signature of Owner

Masood Kola

Print Name

Signature of Owner

Print Name

Daytime Telephone Number

State of Florida

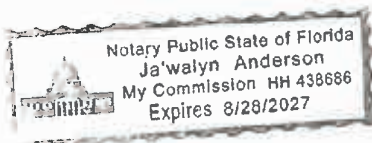
County of Duval

Signed and sworn before me on this 2nd day February of 2026.
By Markand Kola

Identification verified: FL DL Oath sworn: ☐ Yes ☐ No

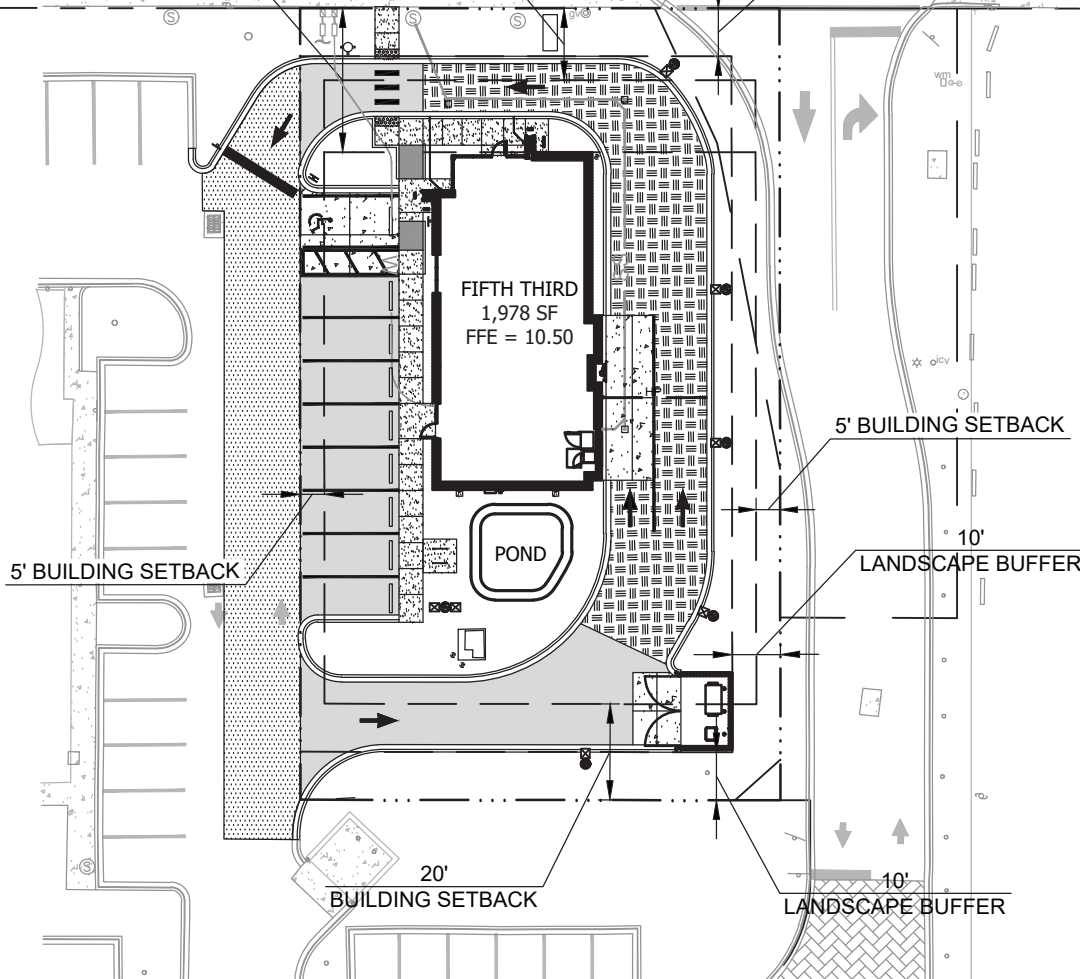
[Signature]
Notary Signature

My Commission expires: 8-28-2027



THE UPS STORE # 3547
12620-3 BEACH BLVD
JACKSONVILLE, FL 32246

30' MAXIMUM BUILDING SETBACK
15' MINIMUM BUILDING SETBACK
10' LANDSCAPE BUFFER



LEGEND

---	PROPERTY LINE
---	EXISTING TO REMAIN
---	EXISTING CONCRETE TO REMAIN
---	PROPOSED CONCRETE LESS THAN 6"
---	PROPOSED CONCRETE 6" OR GREATER
---	NEW ASPHALT PAVEMENT
---	NEW MILL AND OVERLAY
---	NEW PERVIOUS CONCRETE
---	SETBACK/BUFFER
---	PROPOSED CURB
---	PROPOSED CURB AND GUTTER

SITE DATA

SITE ADDRESS:	626 ATLANTIC BOULEVARD NEPTUNE BEACH, FLORIDA 32266
PIN:	172398-0100
BUILDING AREA:	3,114 SF BUILDING
ZONING:	COMMERCIAL C-3
SITE AREA:	16,483 SF / 0.38 AC
EXISTING USE:	RESTAURANT WITH DRIVE-THRU
FUTURE USE:	BANK WITH DRIVE THRU
PARKING DATA	
BANK PARKING REQUIRED:	1 SPACE PER 400 SF OF G.F.A. 3,114 SF x (1 / 400 SF) = 8 SPACES
TOTAL PARKING PROVIDED:	STANDARD PARKING = 8 SPACES ACCESSIBLE PARKING = 1 SPACE TOTAL PARKING PROVIDED = 9 SPACES
PARKING SPACE SIZE:	9' x 20' MINIMUM
LANDSCAPE REQUIREMENTS:	
LANDSCAPE BUFFER - FRONT (ATLANTIC BLVD.)	= 10'
LANDSCAPE BUFFER - SIDE (EAST)	= 0'
LANDSCAPE BUFFER - SIDE (WEST)	= 0'
LANDSCAPE BUFFER - REAR (SOUTH)	= 0'
BUILDING REQUIREMENTS:	
BUILDING SETBACK - FRONT (ATLANTIC BLVD.)	= 15' MIN. / 30' MAX.
BUILDING SETBACK - SIDE (EAST)	= 5'
BUILDING SETBACK - SIDE (WEST)	= 5'
BUILDING SETBACK - REAR (SOUTH)	= 20'

ARCHITECT/ ENGINEER OF RECORD
BDG ARCHITECTS
400 N Ashley Dr Ste 600
Tampa, Florida 33602
P: 813.323.9233
F: 813.323.9238
www.bdgfp.com

bdg
architects

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FIFTH THIRD BANK
NEPTUNE BEACH
626 ATLANTIC BOULEVARD
ATLANTIC BEACH, FLORIDA 32266



JOB NO. 250633

DATE: 03-05-26

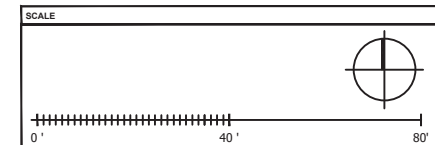
DRAWN BY: IEG

SCALE: 1" = 40'

SHEET TITLE:
SITE EXHIBIT

SHEET NUMBER:

E1



City of Neptune Beach

Community Development Dept.

116 First Street • Neptune Beach, Florida 32266-6140

(904) 270-2400 • Bldgclerk@nbfl.us

**Art Project Application**

Applicant or authorized representative must be present in order for the Planning Development Review Board to make a recommendation to the City Council. The undersigned hereby applies for an art project review as follows:

Date Filed: _____ Zoning Classification: C-3

Note: If the applicant is other than all the legal owners of the property, notarized written consent signed by all the legal owners of the property shall be attached. In the case of corporate ownership, the authorized signature shall be accompanied by a notation of the signer's office in the corporation, and the embossed with the corporate seal.

Street Address: 626 Atlantic Blvd

Legal description property: Lot _____ Block _____ Subdivision _____

Plat Book _____

Page _____ Real Estate No. 172398-0100

Name of Owner: <u>KOLA, LLC</u>	Name of Agent, If any: <u>BDG Architects, LLP</u> <u>Angelina Makowski</u>
Address of Owner: <u>3770 Saltmeadow Ct., S.</u> <u>Jacksonville, FL 32224</u>	Address of Agent: <u>400 N. Ashley Dr. Tampa, FL</u> <u>33602</u>
Phone #: <u>904-608-3964</u>	Phone #: <u>813-954-2211</u>
E-mail: <u>jkola555@gmail.com</u>	E-mail: <u>permits@bdgllp.com</u>

Describe Request being made: Mural on rear facade of Fifth Third Bank

PLEASE BE ADVISED THE PLANNING DEVELOPMENT REVIEW BOARD CONDUCTS A PUBLIC HEARING TO CONSIDER CERTAIN FACTORS IN ORDER TO MAKE A RECOMMENDATION TO THE CITY COUNCIL FOR APPROVAL OR DISAPPROVAL OF THE ART PROJECT.

STATE OF FLORIDA
COUNTY OF DUVAL

Signature of Owner [Signature]Subscribed and sworn to before me on this _____ day of 3-13-26who is personally known to me or haspresented F.L.D.L. K. 329-158-93-000-0 as identification.

[Signature]
Notary Public



Answer the following regarding the proposed art project (attach additional sheets if necessary):

1. Where will the proposed art project be located (i.e. north side of building wall):
South and Southeast wall - only on the EIFS surfaces
2. Give the dimensions of the proposed art project (also attach a scaled drawing of proposed art project):
about 450 sf
3. How will the proposed art project enhance the aesthetic beauty of the surrounding area in its proposed location:
A distinctive artwork style characterized by high-quality detail and expressive craftsmanship, celebrating local flora and fauna while incorporating a symbolic animal representative of the business
4. Provide evidence that the artist is capable of completing the work in accordance with the plan submitted:
Artist portfolio website: https://beyondwalls.org/artists/ernesto-maranje/
5. Explain the durability of the materials used to create the proposed art project (i.e. manufactures specs on the materials, etc.):
Sherwin Williams varnish, offers excellent UV protection and minimal maintenance.
6. What is the maintenance schedule?
Minimal maintenance and no special care instructions. Wash, if needed, with water/hose.
7. How long will it take to complete the proposed art project:
3 weeks

Twelve (12) copies of following documents and application will need to be submitted by 5:00 p.m. on the submitted deadline in order to be placed on the Planning Board's next agenda.

- ☒ Current legal survey (no older than one year) with proposed location marked
- ☒ Site plan showing proposed location
- ☒ Color elevation showing proposed art project drawn to scale
- ☒ List of materials to be used

Disclaimer: This helpful guide is not intended to replace any or all of the Unified Land Development Regulations of the City of Neptune Beach, requirements for application and review procedures required for development orders and certain types of permits. The guide is meant to assist in the facilitation of the review process only. For a complete description of requirements, refer to Chapter 27 of the Unified Land Development Regulations.

OWNER'S AUTHORIZATION FOR AGENT/AFFIDAVIT OF ASSENT

****This form must be filled out in the case that the applicant is not the owner of the premises which the particular application is being filed

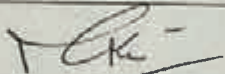
BDG Architects, LLP (agent) is hereby authorized TO ACT ON

BEHALF OF KOLA, LC (owner), the owner (s) of those lands described within the attached application in applying to Neptune Beach, Florida, for an **Art Project Application**.

OWNER:

BY:

Signature of owner



Print name

MASOOD KOLA

Signature of owner

Print name

State of Florida

County of

Duval

Signed and sworn before me on this 13 day of March, 20 26

By FL DL. #392-158-93-000-0

Identification verified:

yes

Oath sworn:

☒ Yes

☐ No

Notary Signature



My Commission expires 10-27-28

AGENT:

BY:

Signature of agent



Print name

Angelina Makowski, BDG Architects, LLP



State of Florida county of

Hillsborough

Signed and sworn before me on this 16th day of March, 20 26

By Angelina Makowski

Identification verified:

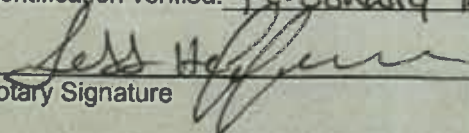
Personally known

Oath sworn:

☒ Yes

☐ No

Notary Signature



My Commission expires 3/5/2029



APPLICATION FOR DEVELOPMENT PLAN REVIEW

CITY OF NEPTUNE BEACH COMMUNITY DEVELOPMENT DEPARTMENT
116 FIRST STREET
NEPTUNE BEACH, FLORIDA 32266-6140
PH: 270-2400
Bldgclerk@NBFL.US



Date Filed:	Name and address of the applicant requesting development review: (NOTE: If the applicant is other than all the legal owners of the property, notarized written consent signed by all the legal owners of the property shall be attached. In the case of corporation ownership, the authorized signature shall be accompanied by a notation of the signer's office in the corporation, and the embossed with the corporate seal). The undersigned hereby applies for a development review as follows.	
Name & Mailing address of Owner of Record: ____Kola LLC____ 3770 Saltmeadow Ct. S. Jacksonville, FL 32224____ Contact phone #_904-608-3964____ e-mail address_jkola555@gmail.com____	Property Address: 626 Atlantic Blvd. _____ <u>Neptune Beach, FL 32266</u> Real Estate ID #172398-0100 _____ Lot _____ Block _____ Subdivision _____ Zoning District: _C-3 _____	
Name and Address of Agent/Applicant: BDG ARCHITECTS, LLP 400 N. Ashley Dr. Suite 600, Tampa FL 33603	Telephone #-813-954-2211 _____ Email: permits@bdgllp.com _____	
Describe Request being made: Raze of existing KFC to build a freestanding bank facility: one level building, approx. 1900 SF including a drive-thru with one lane equipped with one VAT and one ATM lane, and a new trash enclosure. _____ _____		
<u>PLEASE BE ADVISED THE COMMUNITY DEVELOPMENT BOARD CONDUCTS A PUBLIC HEARING TO CONSIDER CERTAIN FACTORS IN ORDER TO MAKE A RECOMMENDATION TO THE CITY COUNCIL FOR APPROVAL OR DISAPPROVAL OF THE DEVELOPMENT PLAN.</u>		

I HEREBY CERTIFY THAT I HAVE READ AND UNDERSTAND THE INFORMATION CONTAINED IN THIS APPLICATION. THAT I AM THE PROPERTY OWNER OR AUTHORIZED AGENT FOR THE OWNER WITH AUTHORITY TO MAKE THIS APPLICATION, AND THAT ALL OF THE INFORMATION CONTAINED IN THIS APPLICATION, INCLUDING THE ATTACHMENTS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I HEREBY APPLY FOR DEVELOPMENT REVIEW AS REQUESTED.

OWNER'S AUTHORIZATION FOR AGENT/AFFIDAVIT OF ASSENT

THIS FORM MUST BE FILLED OUT IN THE CASE THAT THE APPLICANT IS NOT THE OWNER OF THE PREMISES UNDER WHICH THE PARTICULAR APPLICATION IS BEING FILED.

Angelina Maklowski BDG Architects, LLC is hereby authorized TO ACT ON BEHALF OF Kola, LLC, the owner(s) of those lands described within the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to Neptune Beach, Florida, for an application related to a development review:

☒ Development Order	☐ Special Exception
☐ Rezoning	☐ Comp Plan Amendment
☐ Historical Significance Designation	☐ Concurrency
☐ Certificate of Appropriateness	☐ Other/Tree Champion or Heritage Tree Removal

BY:

[Signature]
Signature of Owner

Masood Kola
Print Name

Signature of Owner

Print Name

State of Florida

County of Duval

Signed and sworn before me on this 26 day of February, 2026.

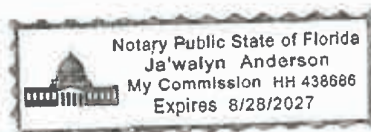
By Masood Kola

Identification verified: FL DL Oath sworn: ☐ Yes ☐ No

[Signature]

Notary Signature

My Commission expires: 8-28-2027



THE UPS STORE # 3547
12620-3 BEACH BLVD
JACKSONVILLE, FL 32246



Site Plan Review Check List

All applicants for site plan review and land-disturbing activities shall complete the check lists, sign and date this form and submit with their application.

Applicant Name: Tammala Brooks

Date: 02/26/2026

Project Name: Fifth Third Bank Neptune Beach

RE No.:

Address: 626 ATLANTIC BOULEVAD NEPTUNE BEACH, FLORIDA 32266

Phone: 813-954-2211

Email: tammala.brooks@53.com

Agent Name: BDG Architects, LLP

Agent Address: 400 N. Ashley Blvd. Suite 600

Agent Phone: 813-954-2211

Agent Email: permits@bdgllp.com

Site Plan Check List

YES:	NO:	N/A:	Note:
X			Concurrency has already been obtained.
	X		Preliminary and final development plan approvals have already been obtained.
	X		All needed variances have already been applied for and obtained, and the site plans are otherwise in general compliance with the City's ordinances.
X			Zoning and Landuse designation is shown on plans
X			Plat, boundary and topographic survey provided.
X			SJRWMD Environmental Resource Permit (ERP) has been submitted.
		X	All work within the City's R-O-W requires a separate Environmental Resource Permit (ERP). The applicant must apply for a separate ERP or provide a letter of determination indicating no permit required from the appropriate jurisdictional agencies for work within the right-of-way. Copies of associated correspondence and Permits shall be provided to the City.
X			Proposed utility connections, services and sizes are shown on the plans.
X			Existing water, sewer and drainage pipes are shown on the plans.
X			Utility and service calculations have been provided with the submittal.
		X	Grease traps are required and shown on the plans for all restaurants, bars and food establishments. Grease trap calculations have been provided with the submittal.
X			Parking Calculations are shown on the plans. Handicapped parking spaces and calculations are shown on the plans.
X			Proposed site grading and drainage are shown on plans.
X			Proposed site grading complies with ADA accessibility requirements.
X			Stormwater calculations have been included with the submittal and are in substantial compliance with Chapter 27 Article XII Stormwater Management and Erosion Control.
X			Adjacent or nearby properties not owned or controlled by the applicant shall not be adversely affected by drainage or flooding as a result of the proposed improvements.
X			Positive drainage outfall has been demonstrated.
		X	Low maintenance zones have been shown in accordance with Section 27-519(k).

YES: NO: N/A:

Notes:

X			You understand that discharge to the City's MS4 system conveys stormwater to Hopkins Creek, and Hopkins Creek is a listed impaired water body with the State of Florida. All impaired basin rules have been complied with for both nutrients and fecal coliforms.
X			Erosion and Sediment control Plan and BMPs are included in the plans.
X			The following erosion and sediment control notes have been included on the plans: 1. Erosion control and tree protection measures shall be installed prior to any other construction activity and maintained until permanent ground cover is established. 2. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with land-disturbing activities. 3. Erosion control measures will be maintained at all times. If full implementation of the this plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source by the contractor as needed. 4. The Contractor shall minimize the extent of the area exposed at one time and the duration of exposure. 5. The Contractor shall apply effective erosion control measures to prevent off-site damage. 6. The Contractor shall apply perimeter control practices to protect the disturbed area from off-site runoff and to prevent sedimentation damage to areas below the development site. 7. The Contractor shall maintain low runoff velocities and runoff shall be detained on the site. 8. The Contractor shall stabilize disturbed areas immediately after final grade has been obtained. 9. The Contractor shall implement a thorough maintenance and compliance program. 10. The Contractor shall have at least one person onsite at all times during work activities certified through the Florida Stormwater, Erosion, and Sedimentation Control Inspector Training program.
X			All documents required to be performed by a Professional Engineer have been signed and sealed by a Florida licensed Professional Engineer. All drawings, specifications, letters, plans, reports, or documents being filed for public record shall be signed by the licensed engineer, dated, and sealed. Filed for public record shall be when said documents are presented to the City to determine compliance with Codes and Standards and to be used for execution of the project, or in connection with the transaction of official business with the City. These documents are required to be signed and sealed.
		X	Traffic Analysis provided.
X			Fire department Connection (FDC) and fire hydrants have been shown on the plans.
X			Accessible route to the right-of-way from all emergency exits has been shown on the plans.
X			A dumpster area has been shown on the plans. All dumpster areas shall be prohibited to drain directly into sanitary sewer systems, into stormwater systems, streets, or City right-of-ways.
		X	Loading Spaces have been shown on the plans.
		X	Maintenance of traffic and pedestrian plans have been shown in the plans.
	X		Percent impervious area has been shown in the plans.
	X		The use of pervious pavement or pavers has included engineered details that include the overall infiltration capacity of the system included on the drawings.
X			Applicable details have been included.
			City notes have been included in the plans.(See attached)
X			You understand that complete applications and responses to City comments or request for additional information are expected in a timely manner. The City shall consider the applicant unresponsive after 60 days and the application shall be deemed abandoned after 6 months for incomplete applications or for failing to respond to a City comment or request for additional information. Applicant's responses and/or changes to previously submitted documents will require additional review time, and may generate additional comments or requests for information. Abandoned applications shall expire by limitation and become null and void 6 months after the date of filing for the permit or plan approval.
X			All provisions of laws, ordinances and codes governing this type of work shall be complied with whether herein or not. The granting of an approval or issuance of a permit does not presume to give any variance, authority to violate or cancel the provisions of any federal, state or local law, ordinance, or code.

Additional Permitting Certification:

Additional permits from other jurisdictional agencies may be required for your project. To the best of your knowledge and belief the following additional permits will be required for your project: (Please check all that apply)

YES: NO: N/A:

Permit Type:

	X		Construction Generic Permit (CGP): <i>Note: See FDEP for requirements. Required for all permits disturbing more than one (1) acre.</i>
X			Environmental Resource Permit: <i>Note: See SJRWMD or FDEP for requirements</i>
		X	Multi-Sector Generic Permit (MSGP): <i>Note: See FDEP for requirements. Typically an operational permit</i>
X			FDOT Drainage Permit: <i>Note: See FDOT for requirements.</i>
		X	FDOT Driveway Permit: <i>Note: See FDOT for requirements.</i>
		X	FDOT Utility Accommodation Permit: <i>Note: See FDOT for requirements.</i>
		X	City of Jacksonville Right of Way Permit: <i>Note: See COJ for requirements.</i>
		X	Dock Permit: <i>Note: See FDEP, ACOE and SJRWMD for requirements.</i>
		X	Permit for Construction of Water Main Extensions: <i>Note: See COJ and FDEP for requirements.</i>
		X	Permit for Construction of Sewer Main Extensions: <i>Note: See COJ and FDEP for requirements.</i>
		X	Well Permit: <i>Note: See SJRWMD, FDEP, COJ & DCHD for requirements.</i>
		X	Consumptive Use Permit: <i>Note: See SJRWMD and FDEP for requirements.</i>
		X	Dewatering Permit: <i>See FDEP Industrial Wastewater Division for requirements</i>

Note: The applicant is requested to provide a copy of all applicable permits. This list is not intended to be a complete list of possible permits, and it is the Applicant's obligation to ensure that all federal, state and local permits and requirements have been applied for and complied with.

Applicants Certification:

To my knowledge and belief the above is true and accurate.

Applicant Signature: 

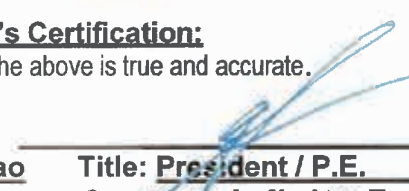
Date: 02/26/2026

Name: Angelina Makowski

Title: Program Coordinator

Professional Engineer's Certification:

To my knowledge and belief the above is true and accurate.

Engineer's Signature: 

Date: 02/26/2026

Name: Nisit Sapparkhao

Title: President / P.E.

FL PE No.: 64085

Company: Infinity Engineering Group, LLC

Affix Seal



Digitally signed by Nisit Sapparkhao
DN: c=US, st=Florida, l=Tampa, serialNumber=AATL20251217427
526, o=Infinity Engineering Group, LLC, cn=Nisit Sapparkhao, email=nsit@iegroun.net
Date: 2026.03.06 10:37:37 -06'00'
Adobe Acrobat version: 2017.012.30262

City Standard Notes to be Included in the Plans:

1. In accordance with the City's MS4 Permit public streets, roads, and highways, including rights-of-way, shall continue to be operated and maintained by the permittees in a manner to reduce the discharge of pollutants in stormwater to the maximum extent practical.
2. No trees or bushes shall be planted in the R-O-W over existing or planned utilities.
3. No mulch is allowed from the back of curb to 4 feet into the R-O-W. Remove all existing and planned mulch from the back of curb to 4 feet into the R-O-W. An edging shall be placed to hold back mulch within the R-O-W that is beyond 4 feet from the back of curb. A vegetative ground cover is required along the back of curb to a minimum of 4 feet into the R-O-W except for on street parking spaces, sidewalks and driveways. The vegetative ground cover in the R-O-W shall be planted to establish minimum cover at the time of planting of 75 percent. A 100 percent plant coverage stabilizing the soils shall be required within 6 months. It will be the homeowner's responsibility to prevent erosion from leaving the site and achieving the 100 percent soil stabilization.
4. The property owner shall be responsible for cleaning all debris entering the curb and gutter from their property.
5. The property owner shall be responsible for edging and pruning plant materials to prevent growth into the curb and gutter.
6. The maximum height of vegetated ground cover is limited to 10 inches.
7. The property owner shall be responsible for all maintenance of items they place in the R-O-W.
8. The property owner shall be responsible for the replacement and or repairs to all items placed in the R-O-W. The City will not replace or repair items placed in the R-O-W. Work performed by the City or their contractors shall only replace concrete for driveways or sidewalks and grass for vegetated portions of the R-O-W.
9. All water and sewer lines within the right-of-way shall use locate wire.
10. Water Approved Materials and Products: (for all work with in right-of-ways, and intended for dedication to the City)
 - Repair bands: Smith-Blair style 226 or EZ-Max Plus repair Band
 - Tapping Saddle (small services 2" and smaller): Smith-Blair style 317
 - Tapping Saddle (Large Diameter 4" – 12"): Smith-Blair style 663 - Stainless Steel Flange Tapping Sleeve
 - Brass Curb Stop: Mueller style 300
 - Bras Corporation Stops: Mueller style 300
 - Brass Ball Valves: Mueller style 300
 - Couplers: Hymax
 - Fire Hydrant: A423 - 5 1/4" Mueller hydrants w/ stainless steel stem and fasteners, 2 hose nozzles, 1 pumper nozzle, color in red
 - M.J. Restraints: Megalug style 2100
 - Valves: Mueler style 2360 w/ stainless steel stem and fasteners
 - Bell Restraints: Megalug style 500
 - PVC Pipe (Large Diameter larger than 2"): DR-18 or DR-14, ASTM C900, blue
 - Poly Tubing (2" and smaller): SDR 9, 200 psi, ASTM D2737, blue
 - D.I.P.: Class 50 or 51
 - Meter boxes: fibercrete
 - Meter box lids: fibercrete in non-traffic area and metal in traffic areas.
11. Sewer Approved Materials and Products: (for all work with in right-of-ways, and intended for dedication to the City)
 - Manhole Lids: Pamrex, model number D400EN124, Hinged
 - Sewer tapping Saddle: Romac
 - Force Main: PVC DR-18 or DIP Class 50 or 51, green
 - Valves: Mueler style 2360
 - D.I.P.: Class 50 or 51
 - M.J. Restraints: Megalug style 2100
 - M.J. Valves: Mueler style 2360
 - Bell Restraints: Megalug style 500
 - Manholes: FDEP approved precast with rubber boot connections and bituminous interior and exterior coatings. Manholes that receive a discharge from a force main shall have an interior lining of HDPE or Fiberglass.
 - Gravity Pipe: DR-35 or DR-21, ASTM 3035, green
12. Drainage Approved Materials and Products: (for all work with in right-of-ways, and intended for dedication to the City)
 - Pipe: RCP class III, IV, or V, PVC A-2000, or Corrugated Polyethylene Pipe (CPP) outside of the R-O-W only ADS N-12 or Hancor F477.
13. Pipe Cover: (for all work with in right-of-ways, and intended for dedication to the City)
 - Water and Sewer:
 - Paved areas: shall have a minimum over of 36" from the top of the bell to the bottom of the pavement base.
 - Unpaved areas: shall have a minimum over of 30" from the top of the bell to the finished grade.
 - Drainage:
 - Paved areas: shall have a minimum over of 18" from the top of the bell to the bottom of the pavement base.
 - Unpaved areas: shall have a minimum over of 18" from the top of the bell to the finished grade.

CONSTRUCTION PLANS FOR:



FIFTH THIRD

NEPTUNE BEACH

626 ATLANTIC BOULEVARD
NEPTUNE BEACH, FLORIDA 32266

PROJECT TEAM

PROPERTY OWNER:
KOLA LLC
626 ATLANTIC BOULEVARD
NEPTUNE BEACH, FLORIDA 32266

PROPERTY DEVELOPER:
FIFTH THIRD BANK
MD 10AT1 CORP FAC
38 FOUNTAIN SQUARE PLZ
CINCINNATI, OHIO 45202-3102
PH: (513) 579-5203

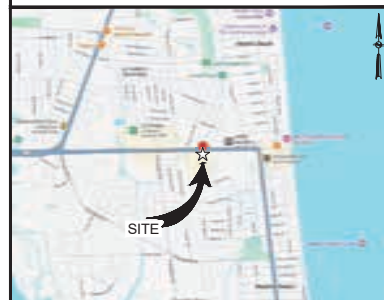
SURVEYORS:
EBI SURVEYING
1304 WEST FLETCHER AVENUE
TAMPA, FLORIDA 33612
PH: (813) 886-6080
CONTACT: THOMAS SERBU
EMAIL: THOMAS@EBISURVEY.COM

CIVIL ENGINEER:
INFINITY ENGINEERING GROUP, LLC
1208 EAST KENNEDY BOULEVARD
SUITE 230
TAMPA, FLORIDA 33602
PH: (813) 434-4770
CONTACT: NISIT SAPPARKHAO

ARCHITECT:
BDG ARCHITECTS
400 N ASHLEY DRIVE
SUITE 600
TAMPA, FLORIDA 33602
PH: (813) 323-9233
CONTACT: NATHALIA GARCIA-RIOS

LANDSCAPE ARCHITECT:
PATRICK D. CUNNINGHAM, LLC
519 SAPPHIRE DRIVE
SARASOTA, FLORIDA 34234
PH: (941) 352-7687
CONTACT: PATRICK CUNNINGHAM
EMAIL: PCUNNINGHAM.LLC@GMAIL.COM

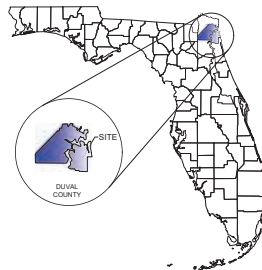
VICINITY MAP



AERIAL MAP



PARCEL ID: 172398-0100
DUVAL COUNTY, FLORIDA



Know what's below.
Call before you dig.



INFINITY ENGINEERING
GROUP, LLC

1208 East Kennedy Boulevard
Suite 230
Tampa, Florida 33602
[p]: 813.434.4770
[f]: 813.445.4211
www.ieggroup.net
FL Cert. of Auth. No. 27889

IEG JOB NO. 15-423.00

NISIT SAPPARKHAO, P.E.
FL REG. NO. 64085

DATE

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY NISIT SAPPARKHAO,
P.E. ON THE DATE AND FOR THE STAMP
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DRAWING INDEX

SHEET NO.	SHEET TITLE
C00.00	COVER SHEET
C00.01	CIVIL SPECIFICATIONS
C00.02	NEPTUNE BEACH STANDARD NOTES
C01.01	DEMOLITION PLAN
C02.01	SITE PLAN
C03.01	GRADING PLAN
C03.02	STORM PIPING PLAN
C03.03	CROSS SECTIONS
C04.01	UTILITY PLAN
C05.01	DETAILS
C05.02	DETAILS
C05.03	JACKSONVILLE ELECTRIC AUTHORITY DETAILS
C05.04	JACKSONVILLE ELECTRIC AUTHORITY DETAILS
C06.01	SWPPP GENERAL REQUIREMENTS
C06.02	EROSION CONTROL PLAN PHASE I
C06.03	EROSION CONTROL PLAN PHASE II
C06.04	EROSION AND SEDIMENTATION CONTROL DETAILS
E-010	ELECTRICAL SITE PLAN AND REMOTE DRIVE THRU
E-011	ELECTRICAL PHOTOMETRIC SITE PLAN
E-012	ELECTRICAL SITE DETAILS
E-600	LUMINAIRE AND SENSOR SCHEDULES AND DETAILS
E-601	EXTERIOR LIGHTING CUTSHEETS
E-602	EXTERIOR LIGHTING CUTSHEETS
E-603	EXTERIOR LIGHTING CUTSHEETS
LP01.01	LANDSCAPE PLAN
LP02.01	TREE INVENTORY PLAN
LP03.01	LANDSCAPE DETAILS
IR01.01	IRRIGATION PLAN
IR02.01	IRRIGATION DETAILS
1 OF 1	ALTANSIPS LAND TITLE BOUNDARY AND TOPOGRAPHIC FROM SURVEY

SHEET

C00.00

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ISSUE	BY	DATE	DESCRIPTION
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JOB #	250633
DATE:	02/12/1993

CHECKED BY: JN

FLUTATIONS

SHEET NUMBER

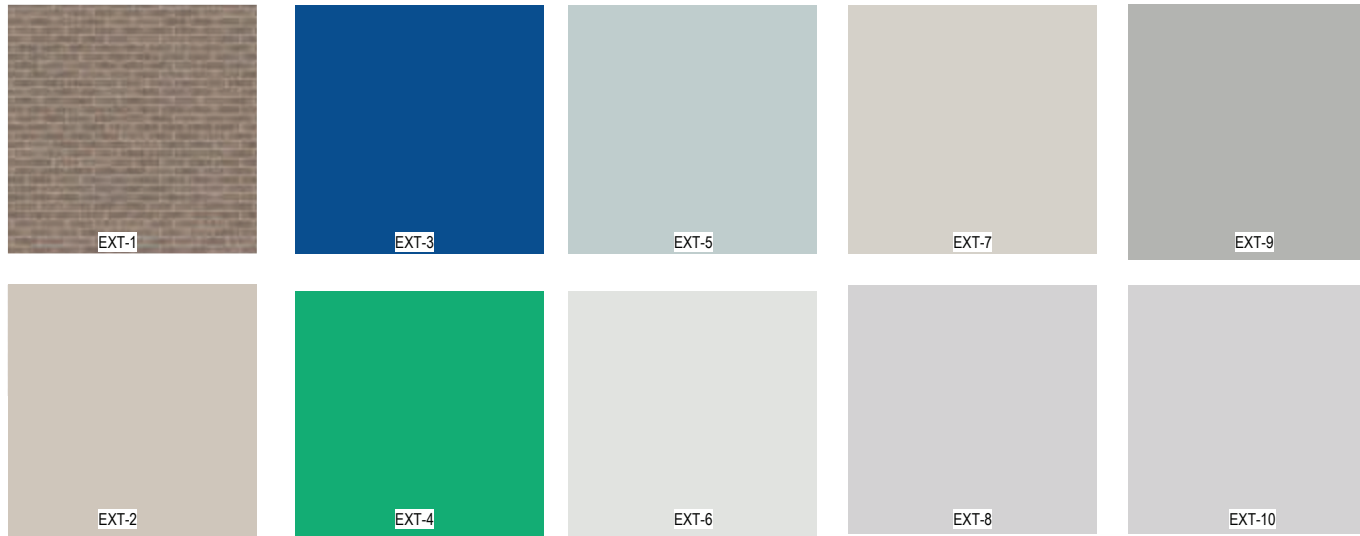
A-202







FIFTH THIRD



#	LOCATION	MANUFACTURER	COLOR	COMMENTS
EXT-1	EXTERIOR WALL	ACME BRICK	SLATE GRAY	MORTAR MANUFACTURER: COOSA , MORTAR COLOR: OLD LIME PUTTY
EXT-2	EXTERIOR WALL	DRYVIT (FINE FINISH)	104 DOVER SKY	EIFS SYSTEM
EXT-3	WING WALL	ALCOA ARCHITECTURAL REYNOBOND	LIMESTONE	WINGWALL
EXT-4	WING WALL	ALCOA ARCHITECTURAL REYNOBOND	BUNNY GRAY	WINGWALL
EXT-5	EXTERIOR WALL	JAMES HARDIE MONTEREY TAUPE	TRADEWIND SW 6218	PAINT SIDING
EXT-6	EXTERIOR WALL	JAMES HARDIE MONTEREY TAUPE	ICE CUBE SW 6252	PAINT SIDING
EXT-7	EXTERIOR WALL	JAMES HARDIE MONTEREY TAUPE	GREY HERON SW 9566	PAINT SIDING
EXT-8	STOREFRONT	YKK AP STOREFRONT SYSTEM	ANODIC CLEAR	BASIS OF DESIGN: 2" X 4 1/2" YKK YES45 TJ CENTER SET - STOREFRONT
EXT-9	CANOPY	REYNOBOND	ANODIC CLEAR	COLORWELD 500 - CANOPY
EXT-10	COPING	PAC CLAD	ANODIC CLEAR	

FIFTH THIRD BANK NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266

DRAWN BY: LG
CHECKED BY: .

11/21/25

1B

0



FIFTH THIRD BANK
NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266



DRAWN BY: LG
CHECKED BY: .

11/21/25

1B



FIFTH THIRD



FIFTH THIRD BANK NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266



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11/21/25

1B



FIFTH THIRD BANK NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266



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CHECKED BY: .

11/21/25

1B



FIFTH THIRD BANK
NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266



DRAWN BY: LG
CHECKED BY: .

11/21/25

1B



FIFTH THIRD BANK NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266

DRAWN BY: LG
CHECKED BY: .

11/21/25

1B



FIFTH THIRD



FIFTH THIRD BANK NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266



DRAWN BY: LG
CHECKED BY: .

11/21/25

1B





FIFTH THIRD BANK
NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266

DRAWN BY: LG
CHECKED BY: .

11/21/25

1B



FIFTH THIRD



FIFTH THIRD BANK NEPTUNE BEACH

626 Atlantic Blvd, Neptune Beach, FL 32266

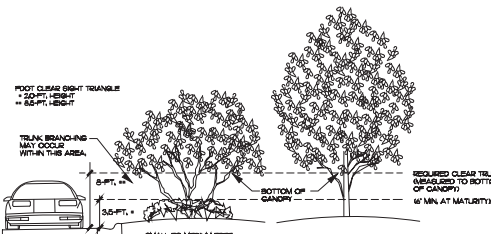
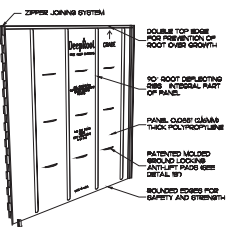


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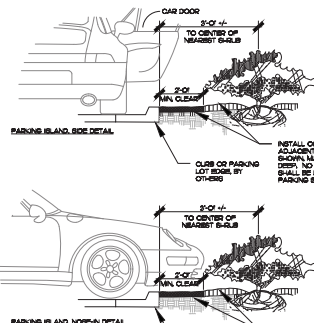
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NOT TO SCALE



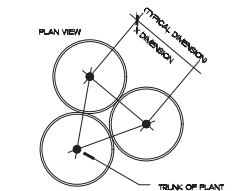
CLEAR TRUNK WITHIN SIGHT TRIANGLE DETAIL
NOT TO SCALE



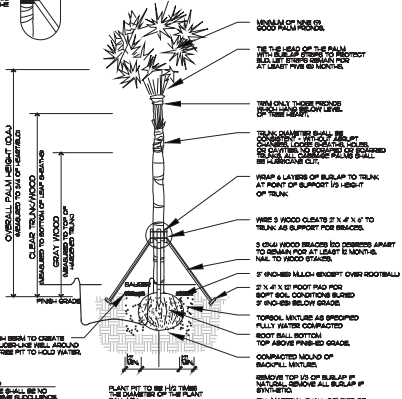
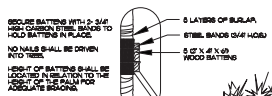
PARKING SPACE/CURB PLANTING
NOT TO SCALE



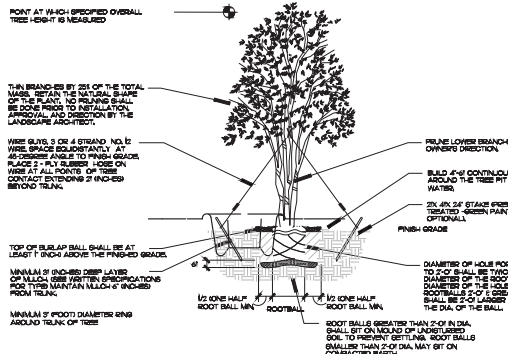
TYPICAL TREE BUYING DETAIL
NOT TO SCALE



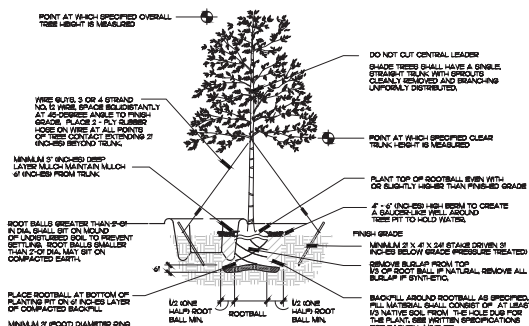
TYPICAL PLANT SPACING DETAIL
NOT TO SCALE



TYPICAL PALM PLANTING DETAIL
NOT TO SCALE



TYPICAL IRREGULAR/MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING DETAIL
NOT TO SCALE

NOT TO SCALE

ounningham.LLOff@gmail.com

400 N Ashley Drive,
Suite. 600
Tampa, FL 33602



FIFTH THIRD BANK
NEPTUNE BEACH

626 ATLANTIC BOULEVARD
NEPTUNE BEACH, FLORIDA 32266

PATRICK D. CUNNINGHAM
 ELITE LIFE ASSURANCE

SEAL PATRICK D. CUNNINGHAM
FL REG. NO. LA000168

--	--

LANDSCAP

DETAILS

NUMBER

LP03.C

Fifth Third Bank

Design Concept Proposal

Ernesto Maranje

March 2026

ERNESTO
MARANJE

Overview

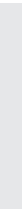
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- Design
concept..... 4
- Design concept
details..... 6
- Design concept □ mural
examples..... 8
- Materials &
timeline..... 14
- Work area requests & maintenance
plan.....17

Artist overview: Ernesto Maranje

- Ernesto Maranje is an artist and muralist from Miami, Florida. He currently lives in Sunrise, Florida.
- His work explores flora and fauna, biological evolution, and plant and animal relationships. He renders these ideas with acrylic and spray paint on large-scale murals and canvas.
- He has painted murals throughout the U.S. and abroad, including countries like Ukraine, Iraq, Jordan, Lebanon, Greece and Spain.
- Ernesto has worked on many public art projects with cities, arts and cultural divisions, schools, universities, non-profits and NGOs.
- He has worked with brands like Chase, Chewy, Cirque du Soleil, Disney Springs, Johnnie Walker and Starbucks and organizations like Big Brothers Big Sisters, Port Everglades, the University of Florida and the UN Refugee Agency.



ERNESTO
MARANJE



Design concept

ERNESTO
MARANJE



Side view

ERNESTO
MARANJE

Corner view



ERNESTO
MARANJE

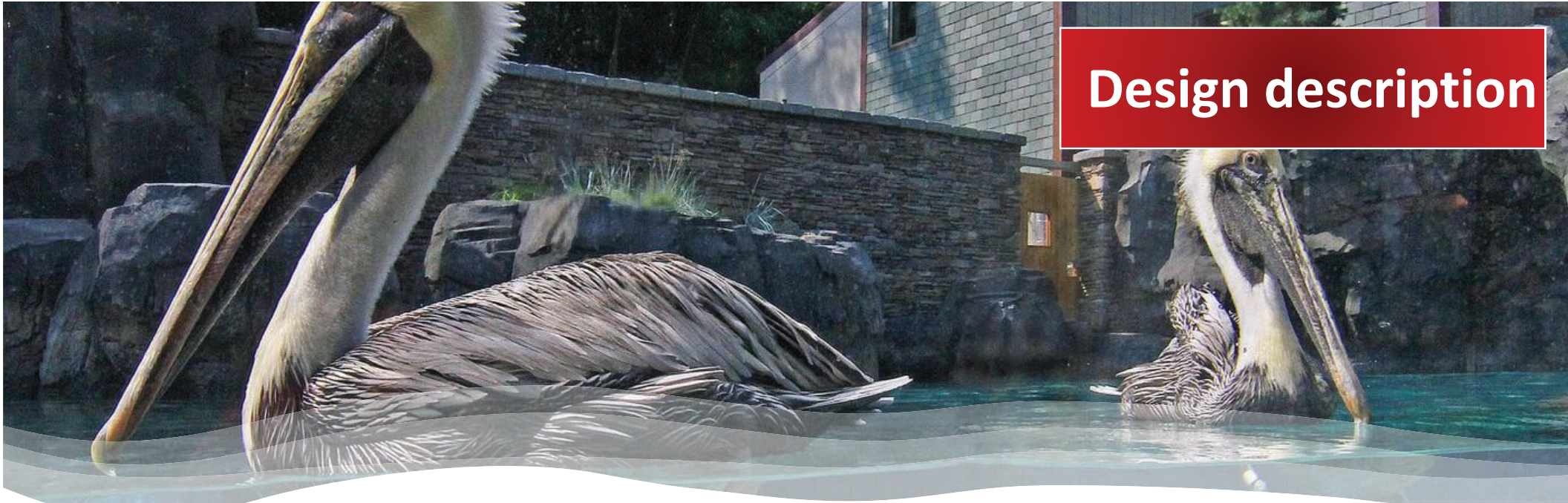


Front view

ERNESTO
MARANJE

Design concept details

ERNESTO
MARANJE



Design description

- Description:
 - **Elements:** The design will feature many species found in Neptune Beach
 - Brown Pelican, sea turtle, flora
 - **Design:** The composition will be both visually dynamic and grounded in themes of neighborhood pride, community spirit, and unity, helping establish the site as a memorable and uplifting destination.
- Style:
 - **Style:** The mural will be painted in Ernesto's colorful style with organic elements weaved throughout.
 - **Mood:** The overall mood will be warm, uplifting, and inviting, family-friendly and energetic, while also conveying serenity, connection, and a strong sense of community.
 - **Vision:** A mix of shapes, colors, abstraction, and various rendering styles add interest to the piece.
- Inspiration:
 - **Theme:** Community, neighborhood connection, and unity expressed through wildlife and natural elements
 - **Local Wildlife:** Featured elements include wildlife that reflects the character of the surrounding region, helping create a welcoming mural that celebrates connection, shared identity, and a sense of place.

ERNESTO
MARANJE

Design concept ☐
mural examples

ERNESTO
MARANJE

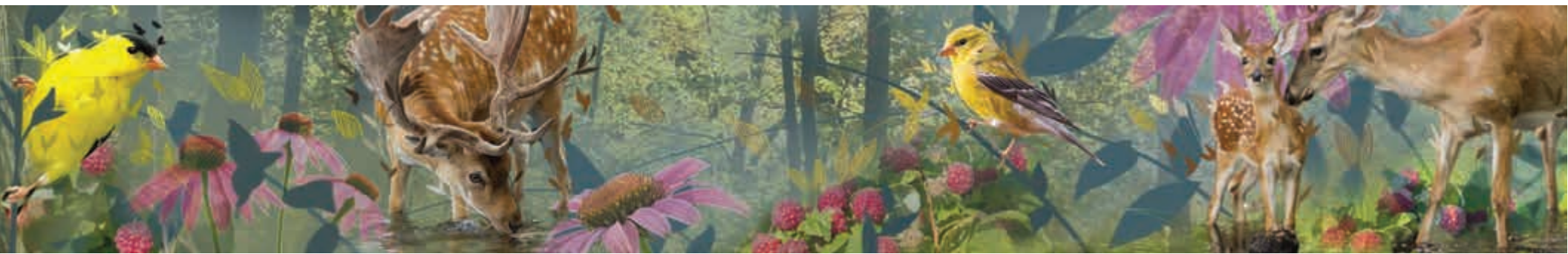
Ernesto Maranje in Erbil, Iraq (2017)



Design concept ☐ finished mural

- The design concept provides a plan for the finished mural, but it won't be an exact copy.
 - The design concept provides:
 - Subject matter
 - Composition
 - Color palette
 - The finished mural may:
 - Differ slightly
 - Include more detail
 - Have changes made to accommodate the wall and certain vantage points
- The following slides are examples of past design concepts and their completed murals to better understand the design process ☐

ERNESTO
MARANJE



Mockup

ERNESTO
MARANJE

Completed mural
Where the Raspberries Grow (2023) by Ernesto Maranje
in Hopkins, MN



ERNESTO
MARANJE



Mockup

ERNEST
MARANJE

Completed mural
Curiosity (2021) by Ernesto Maranje
in Miramar, FL



Materials & timeline

Materials

Paint & varnish



Step 1: paint

*Behr Premium
Exterior Flat Paint + Primer*

Most of the mural will be painted with Behr's Paint + Primer, a great quality exterior, flat medium. This paint is water-based and very durable.



Step 1: paint

*Montana Gold Acrylic
Professional Spray Paint*

Montana Gold spray paint will be used for detailing. This is a high-quality, water-based spray.



Step 2: varnish

*Sherwin Williams
Sher-Clear*

This waterborne acrylic clear coat offers excellent UV protection and minimal maintenance.

Timeline

Estimated timeframe: three weeks

Prep, sketch & fill, render, detail, varnish, clean up



Work area requests & maintenance plan

Work area requests

- Knowledge of:
 - Site hours and/or any access restrictions
- Access to:
 - Water and drain
 - Electricity
 - Bathroom
 - Dumpster/garbage
 - Small storage area onsite for paint and supplies (e.g. maintenance closet)
 - Any access codes/keys needed
- Preparation:
 - Designated area for lift
 - Area should be as clear as possible (landscaping, equipment, etc. should not be around mural area to keep them paint-free)
 - Wall should be ready to paint on start date (wall free of cracks and/or damage that would impede painting)
 - Wall should be free of insect and animal nests and infestations

Thank you! 😊

ERNESTO
MARANJE

Maintenance plan

- Mural varnish:

- A final protective varnish coating will be applied. The varnish will protect the mural from the elements/UV. This will ensure the mural will last for years without fading.
- We will purchase the [Sherwin Williams Sher-Clear](#), or whatever varnish the city prefers □



- Mural maintenance:

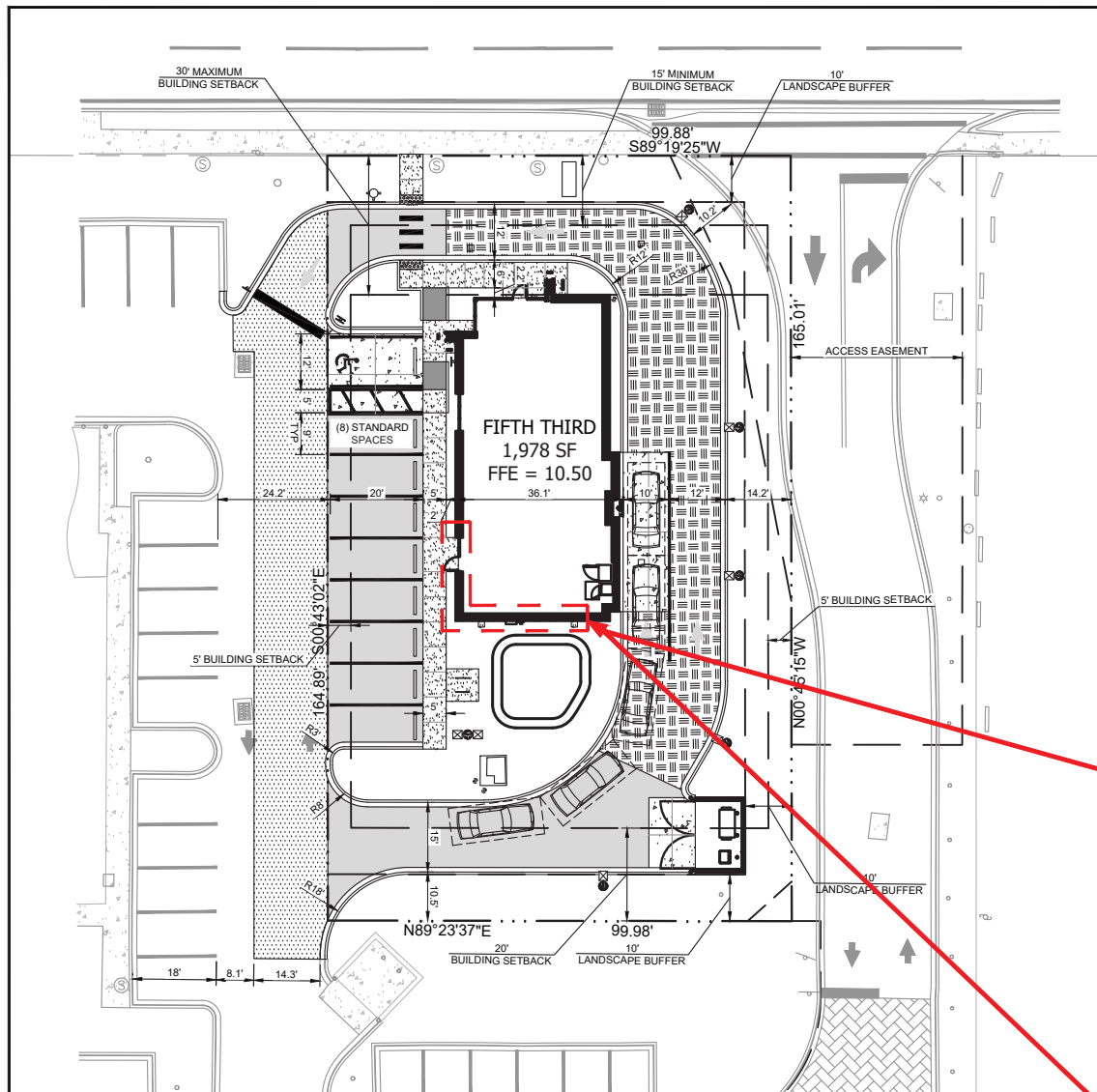
- There will be minimal maintenance and no special care instructions. Wash, if needed, with water/hose.



Thank you!

For more information, please contact
hello@maranje.com or visit maranje.com

ERNESTO
MARANJE



LEGEND			
	PROPERTY LINE		NEW MILL AND OVERLAY
	EXISTING TO REMAIN		NEW PERVIOUS CONCRETE
	EXISTING CONCRETE TO REMAIN		SETBACK/BUFFER
	PROPOSED CONCRETE LESS THAN 6"		PROPOSED CURB
	PROPOSED CONCRETE 6" OR GREATER		PROPOSED CURB AND GUTTER
	NEW ASPHALT PAVEMENT		

SITE DATA

SITE ADDRESS: 626 ATLANTIC BOULEVARD
NEPTUNE BEACH, FLORIDA 32266

PIN: 172398-0100

BUILDING AREA: 1,978 SF BUILDING

ZONING: COMMERCIAL C-3

SITE AREA: 16,483 SF / 0.38 AC

EXISTING USE: RESTAURANT WITH DRIVE THRU

FUTURE USE: BANK WITH DRIVE THRU

PARKING DATA

BANK PARKING REQUIRED: 1 SPACE PER 400 SF OF G.F.A.
1,978 SF x (1 / 400 SF) = 5 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 8 SPACES
ACCESSIBLE PARKING = 1 SPACE
TOTAL PARKING PROVIDED = 9 SPACES

PARKING SPACE SIZE: 9' x 20' MINIMUM

DRIVE THROUGH QUEUE: FIVE CARS STACKING

LOADING ZONE: *NOTE-FINANCIAL INSTITUTIONS DO NOT USE
LOADING ZONES FOR SECURITY PURPOSES
DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT
OF MAIN ENTRANCE.

LANDSCAPE REQUIREMENTS	REQUIRED
LANDSCAPE BUFFER - FRONT (ATLANTIC BLVD.)	= 10'
LANDSCAPE BUFFER - SIDE (EAST)	= 10' (VEHICULAR USE)
LANDSCAPE BUFFER - SIDE (WEST)	= 0'
LANDSCAPE BUFFER - REAR (SOUTH)	= 10' (VEHICULAR USE)

BUILDING REQUIREMENTS	REQUIRED
BUILDING SETBACK - FRONT (ATLANTIC BLVD.)	= 15' MIN. / 30' MAX.
BUILDING SETBACK - SIDE (EAST)	= 5'
BUILDING SETBACK - SIDE (WEST)	= 5'
BUILDING SETBACK - REAR (SOUTH)	= 20'
REQUIRED BUILDING FRONTAGE BUILDOUT	= 60.00 LF (60% MIN.)
PROVIDED BUILDING FRONTAGE BUILDOUT	= 27.94 LF*
VARIANCE WILL BE REQUIRED	

FLOOD ZONE:
DESCRIBED PROPERTY LIES IN FLOOD ZONE "X", PER FEMA RATE MAP
NO. 12031C0409J EFFECTIVE DATE NOVEMBER 2, 2018.

BUILDING MURAL



APPROVAL SIGNATURE	
SCALE	
0' 40' 80'	

ARCHITECT/ ENGINEER OF RECORD

BDG ARCHITECTS
400 N Ashley Dr Ste 600
Tampa, Florida 33602

P: 813.323.9233
F: 813.323.9238
www.bdgflp.com

bdg
architects

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FIFTH THIRD BANK
NEPTUNE BEACH
626 ATLANTIC BOULEVARD
NEPTUNE BEACH, FLORIDA 32266

FIFTH THIRD

JOB NO. 250633

DATE: 03/19/26

DRAWN BY: IEG

SCALE: 1" = 60'

SHEET TITLE:

BUILDING MURAL

SHEET NUMBER:



City of Neptune Beach
Certificate of Concurrency

January 29, 2026

Project Name: Third Bank Neptune Beach

Project Address: 626 Atlantic Boulevard, Neptune Beach, Florida 32266

Project Description: 1,900 square foot office building

The proposed development is not exempt from concurrency requirements. An assessment of project-related impacts and an assessment of public potable water, sanitary sewer, and transportation capacity has been conducted. Based on this assessment, there is available capacity for all public facilities for project-related impacts in accordance with Land Development Code Chapter 27: Article VI Section 27-352, "Criteria for satisfaction of concurrency requirements". The facilities needed to meet the adopted level of service standards are in place at the time a development order is issued. If a development fails to commence in good faith within one (1) year from the date the development order is issued, the concurrency certificate shall be null and void.

Heather Whitmore, AICP, PTP
Community Development Director
City of Neptune Beach
Community Development Department
116 1st Street
Neptune Beach, FL 32266

Fast-Food Restaurant with Drive-Through Window (934)

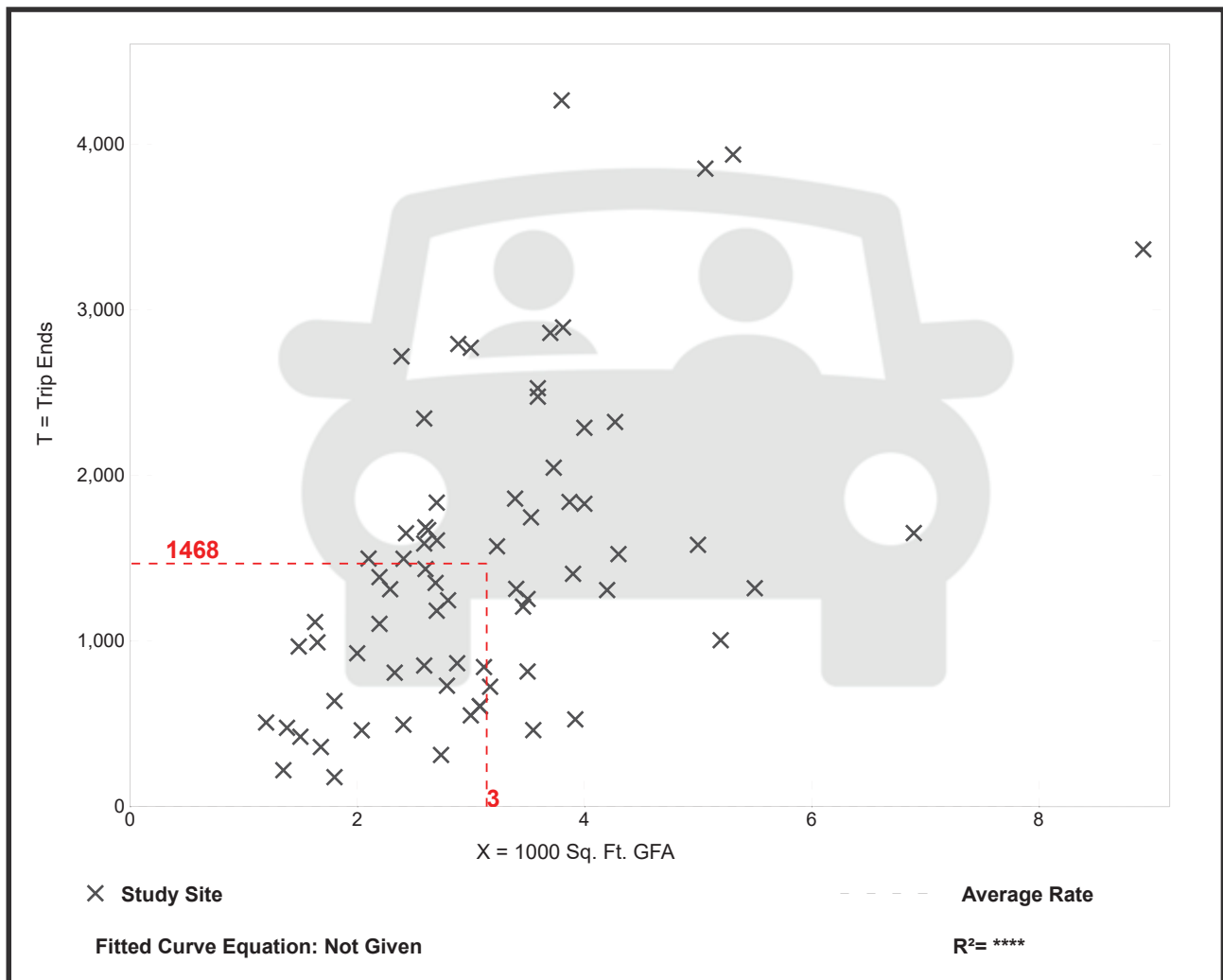
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 71
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
467.48	98.89 - 1137.66	238.62

Data Plot and Equation



Drive-in Bank (912)

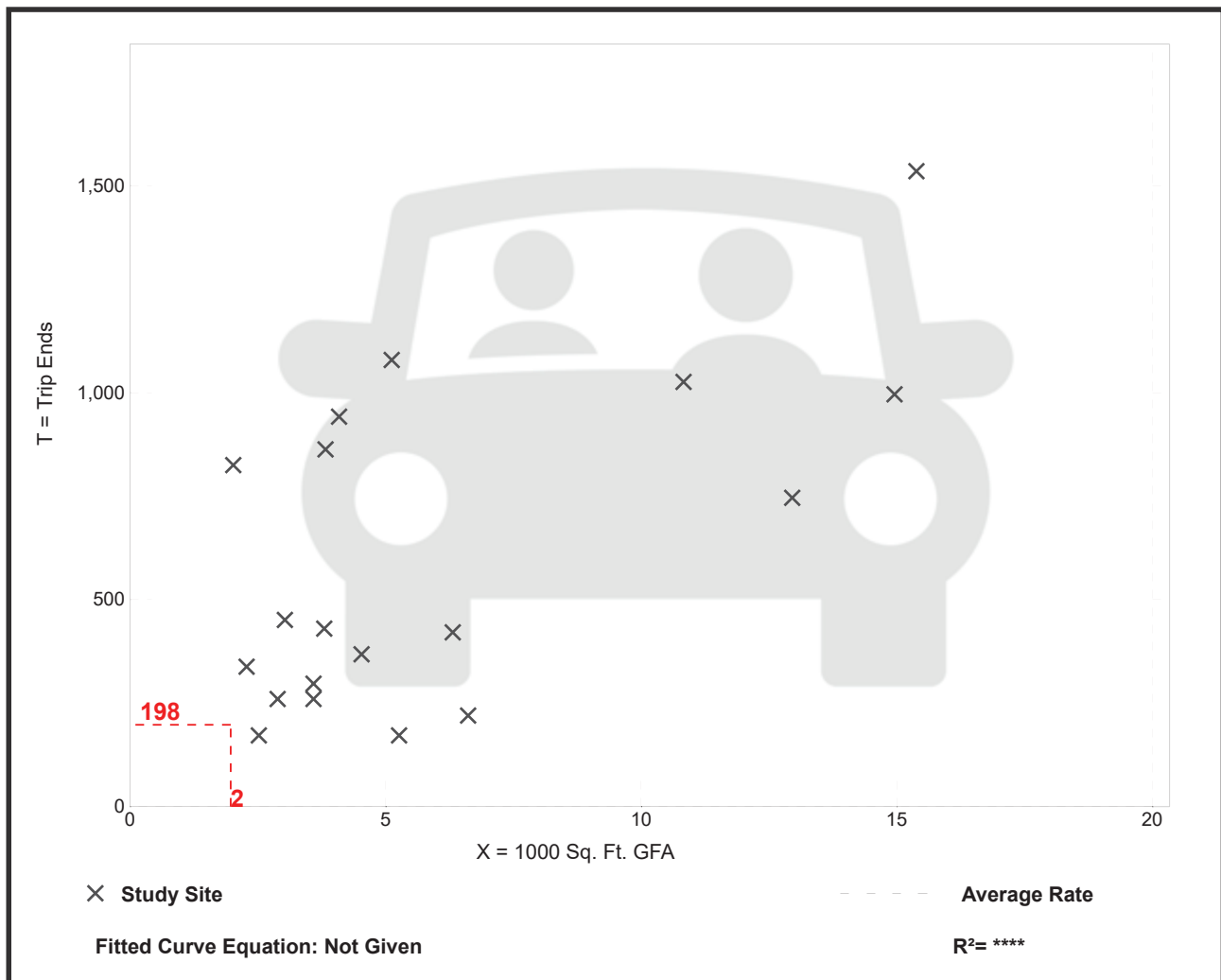
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 19
Avg. 1000 Sq. Ft. GFA: 6
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
100.35	32.67 - 408.42	68.62

Data Plot and Equation





City of Neptune Beach Public Works
2010 Forest Avenue
Neptune Beach, Florida 32266

January 28, 2026

Angelina Makowski
BDG Architects, LLP
400 North Ashley Drive, Suite 600
Tampa, FL 33602

RE: Water and Sewer Availability
Proposed Fifth Third Bank – 626 Atlantic Blvd, Neptune Beach, FL 32266

Dear Ms. Makowski

We have reviewed your Application for Concurrency Determination dated January 23, 2026, regarding water and sewer availability. The City has sufficient water and wastewater capacity to serve the 285 gal/day requested.

If a fire flow test is required, please have your contractor coordinate with city staff.

Qualification: This response regarding the current availability of water and wastewater service does not represent City of Neptune Beach's commitment for or reservation of water or sewer service or capacity, and this availability determination will expire in one year. This statement of availability shall create no vested rights in the Owner/Developer and shall not be construed as a guarantee of water or wastewater service. We will evaluate all proposed water and wastewater system demands and improvements when the proposed redevelopment plans are submitted to the City for review. Commitment to serve is made only upon the City of Neptune Beach's approval of your application for final development orders and receipt of payment of all applicable fees.

Please feel free to contact me if you have any questions or require additional information.

A handwritten signature in blue ink, appearing to read "Deryle", is written above the typed name.

Sincerely,
Deryle Calhoun, Jr., P.E.
Director Public Works
City of Neptune Beach, Florida



**CITY OF NEPTUNE BEACH
CITY COUNCIL MEETING
STAFF REPORT**

AGENDA ITEM:	Ordinance Chapter 27 Article V Section 27.330 SECTION 27.330 – FENCES, WALLS AND HEDGES, ARTICLE V - ACCESORY STRUCTURES AND USES: Fence height code update
SUBMITTED BY:	Heather Whitmore, AICP,PTP Community Development Director
DATE:	April 6, 2026
BACKGROUND:	Land Development Code Updates to Bring Before Council for approval Section 27.330- Article V- Chapter 27, restricts the height of residential fences in certain areas to six (6) feet. The proposed ordinance increases the height restriction of those fences in side and rear yards from six (6) feet to eight (8) feet. First Read: April 6, 2026 Community Development Board Feedback: April 8, 2026 Second Read: April 20, 2026
BUDGET:	NA
RECOMMENDATION:	Approve first reading, forward to second reading for approval and adoption.
ATTACHMENT:	1. Ordinance 2. Business Impact Statement

SPONSORED BY:
COUNCILMAN TIM
HORVATH



ORDINANCE NO. 2026-____

A BILL TO BE ENTITLED

AN ORDINANCE OF THE CITY OF NEPTUNE BEACH, FLORIDA, AMENDING THE CODE OF ORDINANCES - SECTION 27.330 – FENCES, WALLS AND HEDGES, ARTICLE V - ACCESSORY STRUCTURES AND USES, CHAPTER 27- UNIFIED LAND DEVELOPMENT REGULATIONS; PROVIDING CODIFICATION, CONFLICTS, SEVERABILITY, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Section 27.330- Article V- Chapter 27, restricts the height of residential fences in certain areas to six (6) feet ; and

WHEREAS, It is in the best interest of the City and the citizens of Neptune Beach to increase the height restriction of those fences from six (6) feet to eight (8) feet.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL ON BEHALF OF THE PEOPLE OF THE CITY OF NEPTUNE BEACH, FLORIDA that:

SECTION 1. The Code of Ordinances, City of Neptune Beach, Florida are hereby amended in accordance with Exhibit “A”, which is hereby incorporated into this Ordinance. The text amendments are as follows: (~~strike through~~ text shall mean deletions and underlined / highlighted text shall mean additions):

SECTION 2: Codification. The provisions of this Ordinance shall become and be made a part of the *Code of Ordinances of the City of Neptune Beach, Florida* and the sections of this Ordinance may be renumbered or re-lettered to accomplish such intention and the word “Ordinance”, or similar words, may be changed to “Section,” “Article”, or other appropriate word; provided, however, that Sections Three, Four, Five, and Six shall not be codified.

SECTION 3. Conflict. All ordinances, resolutions, official determinations, or parts thereof previously adopted or entered by the City or any of its officials and in conflict with this ordinance are repealed to the extent inconsistent herewith.

SECTION 4. Severability. If a Court of competent jurisdiction at any time finds any provision of this Ordinance to be unlawful, illegal, or unenforceable, the offending provision shall be deemed severable and removed from the remaining provisions of this Ordinance which shall remain in full force and intact.

SECTION 5. Effective Date. This ordinance shall immediately take effect upon

second reading and approval.

PASSED AND ADOPTED by the City Council of the City of Neptune Beach, Florida, this ____ day of _____, 2026.

VOTE RESULTS OF FIRST READING: (Date _____)

Mayor Cori Bylund	_____
Vice Mayor Nia Livingston	_____
Councilor Josh Messinger	_____
Councilor Brent Rogers	_____
Councilor Tim Horvath	_____

VOTE RESULTS OF SECOND READING: (Date _____)

Mayor Cori Bylund	_____
Vice Mayor Nia Livingston	_____
Councilor Josh Messinger	_____
Councilor Brent Rogers	_____
Councilor Tim Horvath	_____

Cori Bylund, Mayor

ATTEST:

Catherine Ponson, City Clerk

Approved as to form and content:



Paul Waters, City Attorney

EXHIBIT “A”

Sec. 27-330. Fences, walls and hedges.

- (a) Fences, walls or hedges may be located in all front, side and rear yard setback areas, subject to the following conditions:
- (1) *Height of fences, walls or hedges.* Fences, walls or hedges shall not exceed four (4) feet in height when placed in the front yard, ~~six (6)~~ eight (8) feet in height when placed in the side yard, and ~~six (6)~~ eight (8) feet in height when placed in the rear yard. In the event that a rear yard of a residentially zoned property abuts commercially zoned property, an eight-foot fence for only the rear yard may be constructed with the approval of the city manager, or designee. If a building is situated on the lot closer to the front setback line than the currently required setback, the fence shall not exceed four (4) feet in height forward of the front building line (refer to Figure 27-330-2). For anyone except public government agencies, proposed fences shall meet these height standards.
 - (2) Any fence located adjacent to a public right-of-way or private road shall be placed with the finished side facing that right-of-way. In residential zoning districts, fences, walls, or hedges shall not exceed six ~~six (6)~~ eight (8) in height when placed in exterior side yards abutting a principal arterial (third street). Such fences or walls are encouraged to meet higher quality construction standards in order to provide genuine sound attenuation. Such fences or walls shall be erected at least three (3) feet inward from the property line and shall be landscaped on the exterior (highway) side by the property owner using evergreen or other perennial plants.
 - (3) Fences designed to have airflow, such as shadow box or lattice style fences are to be encouraged to allow for the free flow of breezes. Picket, shadow box and other decorative style fences in keeping with the character and context of the neighborhood are encouraged; chain-link fences are generally discouraged.
 - (4) No fence, wall, hedge, or other plantings greater than three (3) feet in height shall be located in the clear visibility triangle on corner lots or in such a way to block the line of sight for motorized vehicles leaving driveways. The vision triangle area shall be determined as follows:
 - a. *Corner lot visibility triangle.* Means a triangular area including that portion of the public right-of-way and any corner lots within the adjacent curb lines, or roadway edge if no curb is present, and a diagonal line intersecting such curb lines at points thirty-five (35) feet back from their intersection (such curb lines being extended if necessary to determine intersection point). For corner lots fronting arterial roads, the setback distance for the two (2) points shall be fifty (50) feet from their intersection.
 - b. *Driveway visibility triangle.* Means a triangular area extending ten (10) feet along the driveway edge and the sidewalk edge, from the point where the driveway meets the sidewalk, and within a diagonal line connecting those two (2) points. If no sidewalk is present, the vision triangle shall mean the area extending fifteen (15) feet along the driveway edge and the curb line, or roadway edge if no curb is present, from the point where the driveway meets the curb, and within a diagonal line connecting those two (2) points. For driveways intersecting arterial roads the triangle shall extend thirty (30) feet in both directions.

EXHIBIT “A”

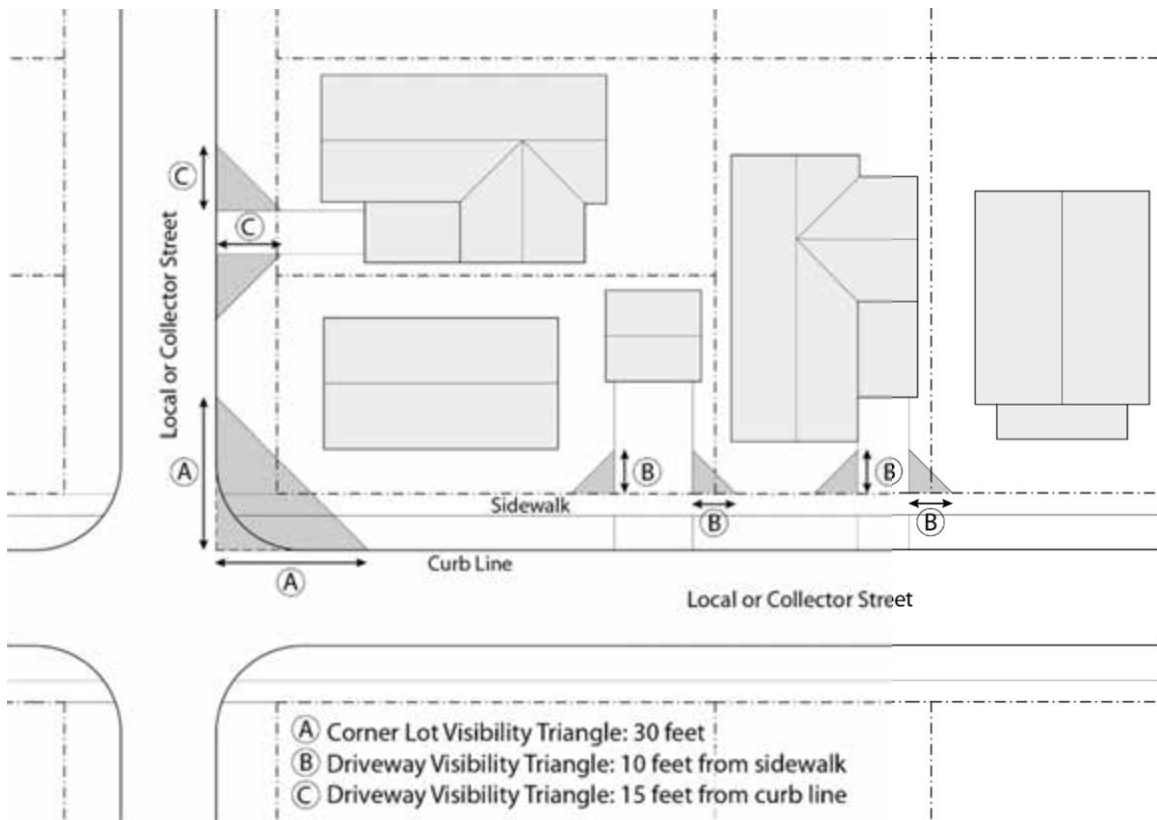


Figure 27-330-1

- (5) No fence, wall, hedge, or other plantings shall be constructed or installed in such a manner as to interfere with drainage on the site.
- (6) Fence posts shall be resistant to decay, corrosion, and termite infestation. The posts must also be pressure-treated for strength and endurance.
- (7) Fences installed on the ocean side of ocean front lots shall not exceed four (4) feet in height within the required front setback.
- (8) All replacement fences must meet current zoning requirements.
- (9) The use of barbed-wire and razor wire is prohibited by section 8-4 in all zoning districts.
- (10) All fences shall be maintained in a good state of repair and structurally sound condition, including, but not limited to, painting and repainting; replacement of missing, decayed, corroded, or damaged component parts, and keeping level. Failure to maintain and repair fences may result in the fence being declared a nuisance and abated in accordance with the provisions of chapter 28 of this Code.

EXHIBIT “A”

- (A) Fences, walls or hedges shall not exceed four (4) feet in height when placed in the front yard
- (B) Fences, walls or hedges shall not exceed ~~eight (8)~~ feet in height when placed in the side or rear yard
- (C) Fences, walls or hedges abutting a principal arterial street shall be erected at least three (3) feet inward from the property line
- (D) Safety fences surrounding swimming pools or other similar structures shall be at least four (4) feet in height but not over eight (8) feet
- (E) Safety fences surrounding swimming pools or other similar structures shall be setback at least three (3) feet from the lip of the pool

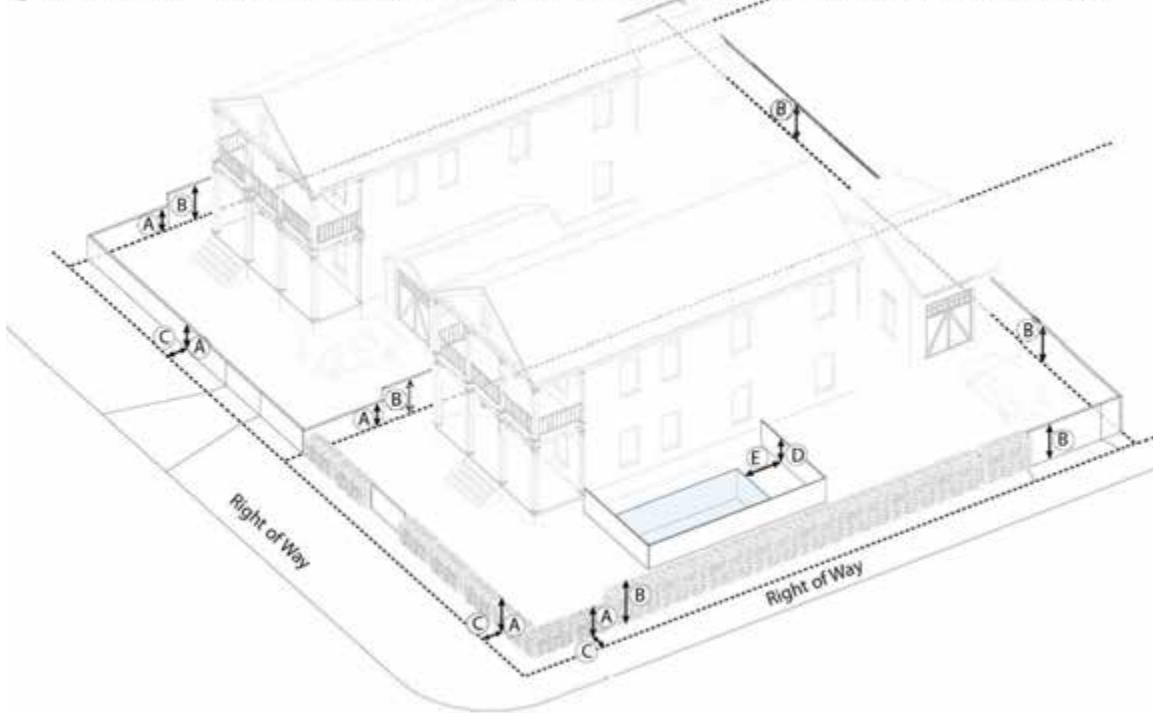


Figure 27-330-2

- (b) *Point of reference for measurement.* The point of reference for determining the height of a fence, wall or hedge shall be the natural lay of the land along the fence, wall or hedge.
- (c) *Height exemption for public agencies.* A fence required for safety and protection of hazard by a public agency may not be subject to the height limitations above. Approval to exceed minimum height standards may be given to public agencies by the city upon receipt of satisfactory evidence of the need to exceed height standards for safety/security.

(Ord. No. 2004-10, § 1, 10-4-04; Ord. No. 2004-15, § 1, 9-20-04; Ord. No. 2005-10, § 1, 5-2-05; Ord. No. 2014-02, § 1, 3-3-14; Ord. No. 2016-10, § 1, 8-1-16; Ord. No. 2022-03, § 1(Exh. A), 8-1-22)